

Comments received after revised drawings

38 Alexandra Terrace Lincoln LN11JE (Objects)

Comment submitted date: Thu 26 Oct 2023

Planning Application Ref. 2023/0217/FLU

Dear Mr Manning,

Further to my extensive and deeply felt objections to the previous planning application, having pored through the revised application, I find that there is NOTHING contained to address my considerable concerns about the proposed development on this site - please refer to my submission dated 20 April 2023 for the details of these concerns and objections.

The revised application, which contains so many errors (many carried forward from the previous failed application), and which also demonstrates a clear lack of understanding of, and care and consideration for, the site and the surrounding area and residents, causes me yet further concern should planning permission be granted.

To put it bluntly, there is no need for this development. The planning permission applications we have seen are not motivated by a desire to address a local housing need - and the proposed properties (this latest and the previous submission) simply don't do that. Planning permission would, however, significantly increase the sale value of 41 Yarborough Road - and this needs to be taken into account.

When considering this application, there is a need to balance this clear lack of need against the considerable negative impacts the development will have on the local community, housing, and infrastructure - and many of these impacts will not be felt just for the duration of the build, but will be potentially long-lasting and significant for local residents:

The 'negatives'...the considerable impact on local resident amenity (and there are an awful lot of us that will be impacted!), significant impacts on already strained resident access and parking, damage to historic Victoria Passage, and local roads, structural damage to several adjacent properties (and there is precedent for this being the case with other developments in the area), repercussions of construction impacts on the subterranean watercourse/spring flowing directly the under development site, the stability of the hillside...to name but a few.

All in all, it simply doesn't make sense to grant planning permission.

I therefore wholeheartedly object to this 'revised' application and would therefore be extremely grateful if the council would take my objections and concerns (again, see my submission dated 20 April 2023 for the details) into consideration when making a decision about this application.

Thank you.

46 Alexandra Terrace Lincoln LN1 1JE (Objects)

Comment submitted date: Thu 26 Oct 2023

Previous concerns submitted are still relevant even though plans have been changed, including concerns about emergency access to the proposed new build, stability of the land and effect of the build on those living near the site.

Mr K Manning
Assistant Director - Planning
City of Lincoln Council
City Hall
Beaumont Fee
Lincoln
LN1 1DF

13th October 2023

Ref: 2023/0217/FUL

Dear Mr Manning,

I wholeheartedly object to the revised plans ref:2023/0217/FUL. I would also like to voice my concerns with the new plans for 41 Yarborough Road.

The amendments and reports are littered with mistakes and inaccuracies which does nothing to reassure me and the neighbouring community. There is absolutely no consistency or attention to detail. The plans are missing vital information and are incorrect. If the build were to go ahead will the contractors show the same lackadaisical attitude?

The revised plans are for one building however the documentation and front cover still refer to two proposed dwellings. The original plans were for two, two bed dwellings. Now the plans are for one, four bed dwelling. The new single dwelling has been upscaled and is now bigger in both width and depth than the previously rejected two dwellings!

All my previous objections still stand. Surrounding buildings will be overlooked, overshadowed, lose light , lose privacy and our quality of life will be compromised in every way.



4.2. - Constraints

4.2 Constraints

- The dwellings should be carefully designed to ensure they relate well to the site and surrounding in respect of scale, siting, massing and floor area.
- The proposals should not result in any overlooking, overshadowing or loss of light ensuring the surrounding buildings are not compromised.
- The development should provide safe access and egress to the housing plots.
- The proposals should consider the land stability and the impact the building works would have on adjacent properties.
- The boundary treatment will have to be upgraded to suit the proposals.

There is no safe access and egress point as the front door leads straight out onto the public highway with no doorstep, kerb, safe passageway or pavement. What happens if someone let alone a child were to open the door whilst a car or larger vehicle was passing? The consequences could be fatal. As for the other constraints listed none have been addressed.

Figure 13: Proposed Floor Plan Layout

Layout

The dwelling has been located on the site to align with the North facing elevation of the adjacent properties, on Victoria Passage.

The proposed layout makes effective and efficient use of the site. This can accommodate a driveway to support two cars dwelling, as well as some soft landscaped areas. The dwelling sits against the Northern Boundary, which provides space for generous gardens with a width of the gardens up to 14.0m.

The dwelling has an open plan ground floor area to provide openness and flexibility for residents. The living room has been located at the rear of the properties to take advantage of views to the garden areas.

A distance of 21m has been maintained between the proposed south elevation and the existing rear (north) elevation of the terrace houses further down the hillside on Victoria Terrace in accordance with privacy and overlooking design guidance. Furthermore, 7m long gardens separate the south elevation from the south site boundary.

The proposed layout states a driveway to support two cars yet on the plans it states parking for three cars. Further on in the same report it again states access for three cars. Which is it?

Access

1No. access points to the property is proposed from Victoria Passage. The driveway has been designed to allow 3no. vehicles to be parked.

The front entrances to the dwelling has been designed with a level threshold. As the site is on a hill side entrance it has been located to the North Elevation with a relatively flat approach from the access road and the parking area is achievable.



Figure 14 shows a retaining wall all around the garden with a 1.8m fence on top yet on the other plans such as the Drainage Layout the retaining wall is shown in yellow around the house and patio area only. Clarification is needed. If there is to be a retaining wall enclosing the garden that would mean considerably more groundworks and disruption than originally stated on the submission.

Figure 15 - 3D Ariel view

LK2



Figure 15: 3D aerial view from south west

Figure 15 shows the sheer scale and width of the new build which clearly dominates my own property. The elevated position and new fencing is inline with the bottom of my roof! It will block all light overshadowing my home and garden. Please note the tree cover is fictional.



Figure 17: Street view looking east along Victoria Passage demonstrating how proposal corresponds with stepping of building down the hillside.

Figure 17 The old brick retaining wall between 41 and 43 Yarborough Road seems to have disappeared and is not shown on these drawings. It appears to have been replaced with a new retaining wall and fence on top. Surely this newly elevated position will block the light of 43 Yarborough Road. Please note none of the trees shown in the mock up actually exist.



Figure 18: Street view looking west along Victoria Passage

Figure 18 shows a tree with green coverage which in actual fact is a BT telegraph pole with no coverage whatsoever. This illustrates a total lack of attention to detail or perhaps wishful thinking. The trees which once stood there have been felled by the owner of 41 Yarborough Road. I would also like to draw attention to the front door which is the only access point. You can see it opens straight out onto the road. The new dwelling has five skylights and three windows facing North, out onto Victoria Passage and into the back gardens of the terrace properties opposite. They will be overlooked and lose their privacy.

Landscaping. Is it one or two dwellings?

The dwellings will have a back garden and an area between the existing built structure, which provides an opportunity for soft landscaping around the driveways to grassed areas to the rear of the dwellings.

Mixed native species hedges will be planted to the site boundary and in the rear garden of No.41 Yarborough Road.

New trees will be planted to the south boundary and to the rear garden of No. 41. The mix will include *Acer campestre* (Field Maple), *Fagus sylvatica* (Beech) and *Carpinus betulus* 'fastigiata' (Hornbeam).

The rear gardens will be bounded with 1.8m high close boarded timber fences to the South, East and West boundaries.

The driveways will be surfaced with block pavers.

What is the existing built structure? Are they referring to the adjacent property, Victoria Cottage, the houses below on Avenue Terrace or maybe they mean 41 Yarborough Road itself? This is not clear.

Beech trees need to be planted a minimum of 15m away from any existing properties due to their root systems. Their roots can easily reach 15m which would interfere with the structure of my retaining wall, foundations and driveway as well as any neighbouring properties.

LK2

6.0 Conclusions

- The scale and built form of the proposed dwelling relates well to the existing pattern of development along Victoria Passage and corresponds with stepping down nature of the surrounding hillside residential area.
- The proposals make effective and efficient use of the site area.
- The development will not result in any visual or physical coalescence with neighboring properties.
- The proposals allow for the incorporation of appropriate landscaping and boundary treatments to assimilate the development into the surrounding area.
- Driveways are incorporated to ensure the properties can be accessed and egressed safely.

The site does not step down as it is being built up with retaining walls to level the slope in order for them to build the dwelling. The development will still dominate and block light from all neighbouring properties.

Revised plans, elevations and section



I would like clarification as to which of these drawings is accurate and a true representation? The north front elevation shows a gap between my house - Victoria Cottage and the proposed parking area however on the south elevation there is no gap. The fence butts up to and sits flush with my house which I hasten to add is within my own boundary. The BT telegraph pole has vanished.

Structural report

2.1 Site Description and Location

- 2.1.1 The site is located on the northwest/southeast aligned west facing slope of the Lincoln Edge. The scarp drops from over 60m AOD to 20m AOD over a 200m horizontal distance with slopes up to 1:3 (20 degrees) before levelling out onto the river valley floor.
- 2.1.2 The Scarp slope is terraced naturally and has been further terraced by roads and housing development over the years.
- 2.1.3 A gorge, the Lincoln Gap has been cut through the scarp by the River Witham.
- 2.1.4 The site is located at around mid way up the scarp slope at around 32m AOD.
- 2.1.5 The area around the site contains Victorian terraces and more recent residential developments, with historically significant buildings atop the Lincoln Edge.
- 2.1.6 Access to the site is via Victoria Passage which is a narrow access road serving some newer housing developments to the southern side and the rear gardens of the houses on Alexandra Terrace to the North.
- 2.1.7 The site itself is a roughly rectangular parcel of land immediately to the south of Victoria passage measuring approximately 24m by 13m.
- 2.1.8 The site bounds Victoria Passage to the northeast, rear gardens of 41 Yarborough Road to the Northwest, a narrow passage adjacent a chalet bungalow property known as the Old Coach house to the southeast, and the rear gardens of No's 2 to 12 Avenue Terrace to the south west.

The adjacent property to the site has been named as The Old Coach House. There is no such property there. I can only assume the architects are referring to my own property which is

in fact called Victoria Cottage and it is a mistake on their behalf. This shows poor research and a lack of care.

2.4 Existing Built environment

- 2.4.1 A brief walkover survey of the adjacent properties and built environment did not reveal any significant concerns relating to ground movement or slip.
- 2.4.2 The property to the East (41 Yarborough Road) is a substantial semi-detached Victorian residential building elevated above the level of Yarborough Road and Avenue Terrace.
- 2.4.3 The Property to the West (The Old Coach House) is a more recent building providing detached residential use in a chalet bungalow. The rear garden is terraced and there is an undercroft passageway near the Eastern boundary of the site.
- 2.4.4 The properties to the south (No's 2 to 12 Avenue Terrace) are a row of Victoria three storey terraces with part basement lower ground floor. The rear gardens are terraced up to the level of the site.
- 2.4.5 There are no significant retaining walls in the close vicinity of the site. There is a brickwork retaining wall at the front of No 41 Yarborough Road.

2.4.3: Once again I can only assume my property is being incorrectly referred to as The Old Coach House. Is the undercroft referring to my integral garage or have the architects confused two separate properties in two separate locations?

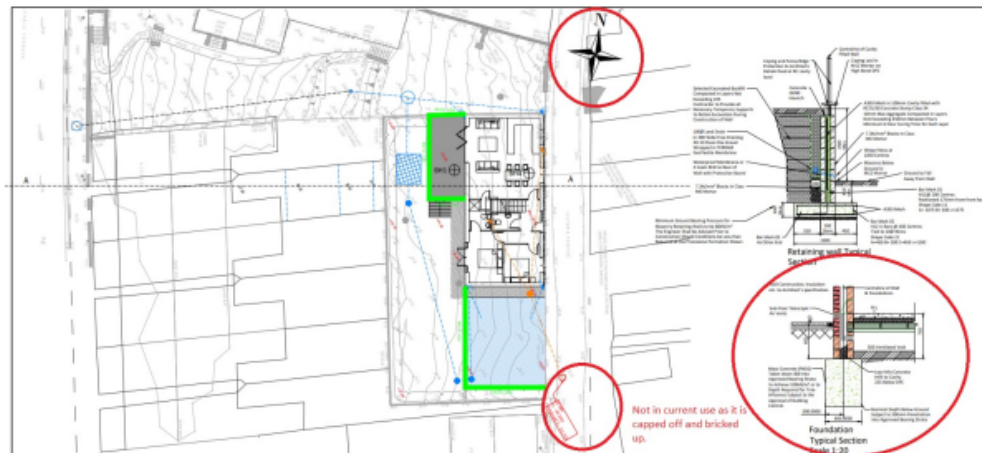
2.4.5: I was very surprised to read there are no significant retaining walls in close vicinity to the site. Please take a look at the google earth image used within the slope stability report. You can see both the retaining wall on my property Victoria Cottage, that of The Stable Block, the retaining wall separating 14 and 16 Avenue Terrace and the brick retaining wall between 41 & 43 Yarborough Road. I have highlighted these in red.

230762-C2C-XX-XX-R-CS-001-P01



Image via Google

Drains - Full Revised Block Plan



Incorrect compass - North is pointing West on the plan. If full investigations had been carried out the architects would be aware that the proposed foul water drain they wish to connect to is fully bricked up and capped off. It has been for many years. In order to access this the road would need to be closed whilst the drain was inspected, reopened and the pipework connected should Anglian Water allow. This will cause major disruption to all local residents and leave us unable to access or exit our own homes. Has the drainage report been agreed with Anglian Water as per Anglian Waters requirements and stipulations?

Foundations - as per the drawings you can see the foundations of the proposed dwelling have a width of 600m. Will 600m encroach onto Victoria Passage - a public highway or is the dwelling to be set back well within the site to allow for the excess width? Have the foundations been calculated to fall within the 21m privacy and overlooking guidance? I would also like to know how the site will be secured at night without the security fencing blocking the road. Will scaffolding be set within the site boundary? There is no mention of piling or what heavy plant machinery will be used on site. These are points I raised in my first objection but have so far gone unanswered.

Swept drawing & Construction Management Plan



I don't think it is a coincidence that the adjacent property to the building site has remained nameless. Is there some confusion on the architects part as to the actual name of my house, Victoria Cottage. They have previously referred to it as "The brick building" but never as Victoria Cottage. Is this a deliberate ploy to mislead the planning department into believing that my property is not a lived in dwelling.

The swept drawing does not show the turning arc of the 3.5 Ford Transit. Will it successfully be able to turn safely into and out of the designated unloading area? I am unsure where this area is meant to be located as it is referred to on the Construction Management Report. However it is not shown on Appendix A.

The construction report is not relevant to the proposed new dwelling as it refers to the old plans for two dwellings. Are we awaiting an amended version? The report mentions a total of eight staff. Where will they all park? They will not fit in a parking space only designated for two or three cars. If the parking spaces are used by staff where will the goods vehicles unload as the construction report states they can not idle, load or unload on the road.

The welfare unit for the site staff has been placed at the bottom of the slope on uneven and unlevel ground with only a fence protecting the neighbouring properties. Will the site be made stable and level to accommodate this? What materials will be used? How will the skip stay in place on such a slope?

Ian Wicks - Pollution Control Officer states:

- *The construction of the development hereby permitted shall only be undertaken between the hours of 08:00 to 18:00 Monday to Friday (inclusive) and 08:00 to 13:00 on Saturdays and shall not be permitted at any other time, except in relation to internal plastering, decorating, floor covering, fitting of plumbing and electrics and the installation of kitchens and bathrooms; and*

Any deliveries associated with the construction of the development hereby permitted shall only be received or despatched at the site between the hours of 08:00 to 18:00 Monday to Friday (inclusive) and 08:00 to 13:00 on Saturdays and shall not be permitted at any other time.

Yet the working hours stipulated in the Construction Management Report have stated an earlier start time of 7.30am not 8.00am.

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4. SITE OPERATIONS & MANAGEMENT

A. Working hours

The construction and any deliveries associated with the construction of the development shall only be undertaken between the hours of 07:30 to 18:00 Monday to Friday (inclusive) and 07:30 to 13:00 on Saturdays and shall not be permitted at any other time, except in relation to internal plastering, decorating, floor covering, fitting of plumbing and electrics and the installation of kitchens and bathrooms.

Subject to: Any overrun or emergency. Details of which will be emailed or mailed to the Council as soon as possible before and after (finish time predicted, and finish time actual)

B. Deliveries and transport of materials, plant, and equipment to site

All deliveries will be from site from Victoria Passage and met on site by a competent site worker. Deliveries will not idle, load & unload or park on the road, only designated area within the site will be used. This is to prevent any blockages on the Victoria Passage Road for nearby residents' access of the road. Please refer to the appendix for the shown loading/unloading area.

Ian Wicks - Pollution Control Officer recommended that the applicant be required to incorporate appropriate electric vehicle recharge facilities into the development in line with the recommendations of paragraph 112 of the NPPF but I can't see one on the revised plans. Is that something that's been overlooked?

As you can see there are many discrepancies and inconsistencies with the amended plans. A number of questions have again been left unanswered.

I reiterate the main points as follows:

- The single four bed dwelling proposed is now bigger than the original two bed dwellings. How is this in keeping with the size and scale of nearby properties?
- Where will the goods vehicles load and unload?
- Will Victoria Passage an unmade road be resurfaced and maintained by the building contractors? Increased heavy goods traffic flow will have a negative impact on the surface of the road and the well being of all residents.
- If residents access is blocked by goods vehicles where will we park?
- Where will the scaffolding go?
- How will the site be secured at night without stepping out into Victoria Passage thus blocking the highway and residents driveways?
- Is piling needed? If so to what depth?
- Has the drainage report been agreed with Anglian Water as per Anglian Waters requirements and stipulations?
- Clarification is needed as to where exactly The Old Coach House is and what they are in fact referring to? Do they mean the adjacent property Victoria Cottage? If so why has it never been correctly named?
- If a vehicle larger than the stated 3.5t Ford Transit attempts to use the Passageway who will hold them accountable?
- What is the time scale for this build?
- If the contractors work beyond the specified hours especially at the weekend who do we contact and how will it be enforced?
- If the noise disturbance and pollution level is at an unreasonable level what happens?

I hope you will take all the points I have raised into consideration. There have been a staggering number of objections from the local community and for good reason. The plans and reports are inaccurate and many of the questions we raised in previous objections have gone unanswered. I really do hope our voices are heard and the impact the build will have on our lives and the surrounding environment is taken seriously.

Yours sincerely,
Hollie Read

97 Village Court Newcastle NE26 3QB (Objects)

Comment submitted date: Tue 24 Oct 2023

I wish to object to the revised plans Ref: 2023/0217/FUL.

All my previous concerns and objections still stand. The site is unfit for purpose. The revised plans are inaccurate. The new north facing exit and entry point to the dwelling is dangerous. The dwelling and fence will overshadow, overlook and dominate all surrounding properties.

When Victoria Passage is blocked due to building work where is the additional parking for residents going to be? There was talk of permits for each household but nothing in the reports and further mention of them. This once again has not been addressed.

There is still a high risk of disruption for all local residents and a high probability of road congestion. What about the passageways suitability and noise & air pollution disturbance? These are still major issues of concern.

The amount of disruption and upset this build will cause completely outweighs any need for it whatsoever.

I hope you take all my points into consideration and reject the application.

Wood Sorrel Cottage Wood Lane West Markham Newark NG220GX (Objects)

Comment submitted date: Thu 19 Oct 2023

Planning Application Ref. 2023/0217/FLU

Dear Mr. Manning

I wish to object to the above application on the same grounds as my previous objection but with the further objections as listed below following their new application.

I will list my objections in the order of their, the applicants reports as posted on your website.

Drainage layout Ref. 230762xx xxDRC500.

The water manhole chamber to which they plan to discharge into is bricked up and sealed and no longer functions. This follows an inspection carried out by Anglian Water earlier this year.

Site Section report Ref. 230762xx xxDRC100.

Please note that North changes its position by 90 degrees between this report and that listed above. So much for ensuring accuracy on a document entering the public domain.

Slope Stability report.

Ref. 2.1.8. Which property is "The Old Coach House"? No property with that name exists on Victoria Passage.

Ref. 2.4.3. "The Old Coach House"? Again. This Presumably, but shouldn't they get their facts right first, refers to Victoria Cottage which is actually EAST not WEST of the proposed development.

There is no undercroft associated with Victoria Cottage it has an integral garage but maybe "The Old Coach House" has an undercroft!

Ref. 2.4.5. "There are no significant retaining walls in the close vicinity of the site". Victoria Cottage aka "The Old Coach House" has retaining walls as does The Stables next door. Even the clients own property 41 Yarborough Road has a retaining wall holding up the parking space of No. 43 next door. These are clearly visible on the photograph taken from Google Earth and forming part of the submission.

Again, as in the previous report NORTH is in the wrong direction as shown by the compass bearing printed on this plan. So they have EAST, WEST and NORTH either incorrectly marked on the plans or referred to in the text.

Revised Block Plan. Ref. (08)004REVA04.

This plan has conveniently missed off the tree stumps from the cut down mature trees which are situated under what is proposed to be the north face of the development, that is the north that abuts Victoria Passage.

As these were large mature trees approximately 20 metres tall they will have a large root ball which will now be rotting away. This will require major excavation work to remove them and the ground will need to be made good. Failure to do so will result in settlement under and around the foundations of the proposed development not to mention Victoria Passage itself. Because of the lie of the land this settlement will be towards the tree stumps and therefore the proposed development.

Victoria Passage has had more standing water this summer since these trees were cut down and there is now no natural mechanism to manage the situation. I see nothing in the submission to mitigate against this.

Revised plan + elevations. (08)005REVA03.

Interestingly, the footprint of the proposed single dwelling is larger in both width and length than the previous submission. So much for taking into consideration the concerns raised by residents regarding the original plans.

It can be seen from the above plan to dominate Avenue Terrace and it will still be possible to see into the bedrooms of the houses on Avenue Terrace from the patio.

let alone the bedrooms of the proposed development.

On the same plan the north (front) elevation is shown with a fence finishing short of Victoria Cottage. However on the south (rear) elevation the fence is shown abutting Victoria Cottage. This land is not their land, it is owned by Victoria Cottage and the plans are therefore incorrect.

Design and Access Statement.

This is not relevant as it clearly states on the front page that it is for a two house development which was rejected and not the one house development now proposed.

Interestingly in this section photographs referred to as figures 8 and 9 clearly show the size of the trees lost to the site. Figure 8 shows beyond any doubt the work that will be required and the disruption to residents by the removal of these root balls not to mention the work and disruption in making good.

Figures 15 to 18 inclusive do, in figure 15 particularly show how the development dominates and overlooks Victoria Cottage to the east. Other than that the "artists impressions" are more a work of fiction than a serious attempt to illustrate the site in a realistic manner. The residents do not live in a virtual world where trees have been placed on neighbours parking areas and gardens. They have even managed to change the telegraph pole adjacent to Victoria Cottage into a tree.

What exactly are the grey boxes supposed to represent as shown in figures 17, 18 and 19? they look like shipping containers dug into the hillside.

4.0 Opportunities and constraints.

4.1 " To provide a high quality design that contributes to the local area and responds positively to both the local character and site characteristics/location". Really? How?

" To reinforce the distinctiveness of the local area by incorporating appropriate design features, materials, landscaping and boundary treatments".

How so? By cutting down all the real mature trees and replacing them with virtual trees and erecting a seven foot fence against Victoria Passage without planning permission?

4.2 Constraints.

All the points in this section argue quite eloquently as to why the proposal should be rejected.

Access.

It states three vehicle parking yet this is a contradiction of the two vehicle parking referred to earlier in the report. Which is it two or three?

It refers to the front entrances (plural) to the dwelling, yet only one is shown on the plans and the artists flight of fancy. Which is it one or two?

Isn't opening a door straight onto a lane/road/passage highly dangerous? There is no inner lobby as a safeguard, no outer porch or a safety barrier to prevent anyone, particularly a child stepping straight out of the house into the path of an oncoming vehicle. The lane is so narrow that avoiding a collision would be extremely difficult and could have fatal consequences. Not very family oriented or user friendly. The only way safe exit and entrance can be made is to redesign or relocate the property further south away from Victoria Passage. Of course this would require more substantial retaining walls and recalculation of loads etc as the height would increase due to the slope thus increasing the development costs dramatically, but at least the property would be safe to live in.

Additionally if the property was sited further to the south it may well mitigate some of the expense and settlement risk associated with building over dead tree roots.

A French drain could also then be put in on their own land and not on Victoria Passage, which would be a trespass. This would mitigate against the increase in standing water as seen on Victoria Passage since the cutting down of the trees.

6.0 Conclusions.

Please refer to my objections from the previous planning application.

Swept Path Analysis.

The exit shown from Victoria Passage onto Victoria Street does not show the parking bays on the eastern side of Victoria Street which are invariably occupied. The manoeuvre shown will not be possible with vehicles parked here due to the turning arc of the vehicles to be used.

Construction Management Report.

This report is dated June 2023 and still states the report is for the "erection of two dwellings". Again, is it one or is it two? Numbers from one to three seem to be causing all sorts of problems to the authors of these reports, as do compass bearings.

Seriously, is this indicative of the slapdash nature of the whole submission? does this carefree attitude not bring into question any statements or calculations made relating to this application.

2D Managing materials etc.

How big is the site? Does it not slope at 1.5 or 1.4.5. (See other reports submitted with this application).

how are the points raised in D to be addressed and complied with?

2E Security.

Where is the security fencing to go? If on the northern, Victoria Passage side of the site it will have to sit on Victoria Passage itself. How will the right of way be maintained along Victoria Passage? The security fencing feet will be at right angles to the fencing and they will protrude approximately 450mm outside the fence centre line in both directions. This will reduce the width of Victoria Passage by nearly one metre.

What happens when scaffolding is erected on the northern face, that is the Victoria Passage side? It will have to sit entirely on Victoria Passage. Add in the security fencing on the outside of the scaffolding and Victoria Passage will be reduced to the point that it will be impossible for residents to get past or turn into their parking places. This is unacceptable.

3 Community Liaison and Communication.

Seeing is believing.

4 Site Operations and Management.

"Any services on the road will be marked and protected".

Protected? What with? For how long? How will we get past? this is a single track lane not a motorway.

"2 deliveries per week at the peak". In vehicles as stated in the report with a carrying capacity of 1.5 tonnes each. That's a maximum of 3 tonnes per week to keep eight men supplied and employed, (their figures). At that rate this build would take longer to complete than it took to build Lincoln Cathedral. these delivery figures are not credible and I believe are put in purely to try to ally the fears of the residents and are not based on reality.

Reading this report one would think the site is a vast one with literally hectares of land for a major housing development. It is a site of 333 square meters on a 1.5 to 1.4.5 slope. (Again their figures).

Where is it all going to fit? There will be so many facilities and amenities on site that there won't be any room to build a house! (suit me)

How will all the equipment be accommodated on a sloping site before the retaining walls are constructed and the site levelled?

Their own report states they cannot block the Passage, nor even have vehicles idling on it. So where is it all going to go?

Appendix A. Showing Facilities, Storage etc.

This too is incorrect. It shows the previous two dwelling application and is therefore totally irrelevant.

The new proposal has a bigger footprint and a totally different layout of retaining walls etc. and the plan makes no reference to the slope.

As if that wasn't bad enough, Appendix A makes reference to a "proposed materials drop off area". Yet none is shown on the incorrect plan submitted nor is it shown in the "Legend". So where is it to be?

Anglian Water Comments.

No reference has been made in the application about complying with Anglian Waters stipulations. Have they been complied with? If not why not? Surely if not that will invalidate this application.

Ian Wicks Pollution Report.

Mr. Wicks states the application should be required as a condition of planning consent being granted to install an electric vehicle charger as part of the development. None is shown on the plans.

He also states that working hours and deliveries will be 8.00 am to 18.00 pm Monday to Friday inclusive and 8.00am to 13.00pm on Saturdays.

Yet the construction management report states that their hours of work will commence at 7.30am. This last statement in a report date four months after Mr Wicks recommendations were made.

Needless to say from the above, I object to this application. It will be of no benefit to the local community whatsoever.

It is riddled with mistakes and inaccuracies and includes submissions from an already failed attempt to gain planning consent. surely on those grounds alone it should be rejected?

Yours Sincerely

Paul Read

2 Avenue Terrace Lincoln LN1 1JB (Objects)

Comment submitted date: Wed 11 Oct 2023

I object wholeheartedly with the proposed construction on several grounds. As many other comments have addressed, lack of parking is an ongoing issue in the area with many residents including myself incurring frequent fines as we are forced to park outside of allocated residential parking. This is often due in part to constant use of residential spots by tradesmen and builders that are working constantly in the area. This proposed construction would worsen this issue considerably as well as seriously

impacting those that live on Victoria passage as the lane is extremely narrow and difficult to navigate with large trades vehicles blocking it.

Furthermore I work night shifts exclusively which means I sleep during the day.

Already my quality of sleep and quality of life is severely impacted by the noise and vibration from the constant building that seems to be happening in the area. To have a large scale construction project such as this happening immediately behind my home would simply make it impossible to reside in the area without impacting my physical and mental well-being.

Loss of habitat and environmental impact is also a concern. The plot of land this construction is planned to begin on was previously an orchard which provided shelter and food for a large variety of wildlife. This orchard was cut down when the previous property owners left and has since been left unmaintained. Another benefit of the orchard was that it provided privacy both to the properties on avenue and Victoria terrace as well as those on Alexandra terrace and Victoria passage. Since this has been cut down houses opposite can see directly into each other. This Problem would be significantly worse for myself with the proposed property in place as it will be directly behind and uphill from myself looking down into my garden and house.

I hope that the issues raised by myself and other residents in the area are taken into serious consideration and that the massive negative impact on the lives of those in the area gives sufficient reason to reject this application.

Yours sincerely,

Tom Mason

Comments received before revised drawings

Not Available (Objects)

Comment submitted date: Wed 31 May 2023

Dear Mr K Manning

I must raise a resolute, robust, and wholehearted objection to the planned closure of the Victoria Passage as part of the planning proposal referenced as 2023/0217/FUL.

If it were to be implemented as it currently stands, this proposal would result in the closure of the Victoria Passage car parking area, a space currently comprising over 40 car parking spaces. The vehicles using these spaces then would presumably have nowhere to go. The wider resident parking scheme is already oversubscribed, with existing residents in areas like Alexandra Terrace, Victoria Street, Motherby Hill, and Clara Terrace (where I reside) having great difficulty securing and maintaining a car parking space.

I have it on good authority that the lack of parking spaces, and the overloading of the existing parking infrastructure is not being made a material consideration as a part of this planning permission. I would very much like to challenge this situation,

The supposed reasoning being this dismissal of the parking difficulties is that since the parking schemes as they currently stand do not offer guaranteed spaces, making the likelihood of finding a space even lower (dramatically lower in fact, given that Alexandra Terrace only has space for approximately 45 vehicles and it is already at breaking point) should somehow not a concern.

This is patently absurd. The possession and existence of a set of working cardiac muscles does not guarantee anyone a life of over 100 years in length, yet most people would take very unkindly to aggressive deployment of high-velocity carbine rounds to the centre-mass-torso region.

Just because the parking situation is currently extremely bad, bordering on unworkable, and lacking any plan to improve it, that does not give anyone license to make it dramatically worse. Any local government official who believes otherwise clearly has no interest in dispelling the stereotype of functionaries being perpetually absent of common sense.

There are also plenty of other objections that need to be raised here, such as the overall community disruption of having another long term construction process ongoing in close proximity to many people's well used homes. The levels of space loss, noise pollution, chemical pollution, and other such issues should clearly show everyone why such a plan should be, and as far as I can tell always has been, a non starter from the community point of view.

I urge you to shelve this absurd and disruptive plan. The quality of life of those in the community of Victoria Street, Clara Terrace, Yarborough Road and many others, are at stake.

Thank you
Michael Trimmer

97 Village Court Whitley Bay Tyne & Wear NE26 3QB (Objects)

Comment submitted date: Fri 12 May 2023

I own property on Victoria Passage. I therefore strongly object to the proposed planning application for two dwellings ref: 2023/0217FUL - 41 Yarborough Road, Lincoln LN1 1JS.

The points I am objecting to are :-

Highway access, safety, appearance, building materials, privacy, congestion, road suitability, stability of land, noise & air pollution & quality of life.

The disruption the builds would cause to the occupant of Victoria Cottage and all local residents will be immense. Please note Victoria Passage is the only means of accessing Victoria Cottage. The road can not be blocked under any circumstances as this will deny access to the front door, driveway and garage.

The narrow unmade lane outside the proposed site will be constantly blocked with vehicles delivering or trying to deliver building supplies etc plus site workers and heavy plant machinery. There is no flat land for them to park on and there are no passing places. The Passage is not wide enough for this sort of traffic. To illustrate this a bin lorry can not access the lane. I am not prepared to have any unauthorised vehicles obstructing and parking on our property.

If the build goes ahead what realistic provisions would be put in place to ensure all displaced residents vehicles have somewhere safe to park within a short distance from their houses? Bear in mind there are some locals who are elderly, have mobility issues or have small children and will be unable to walk any distance particularly if having to walk uphill and especially carrying shopping or infants etc.

There will be massive noise and pollution disruption from the build itself. The movement of earthworks will have a negative effect on all neighbouring residents and potentially the stability of the land as well as neighbouring properties. I believe a site survey has yet to be carried out to determine whether the site is suitable, stable and safe to build upon.

I am aware the current building site above on Alexandra Terrace has many ongoing

safety issues. On numerous occasions we have witnessed lorries shedding their loads and pallets of bricks collapsing, not to mention the deterioration and damage caused to the highway and the top of Victoria Passage. This site is in full view of many residents. I dread to think what could happen to the workers, occupants and adjacent properties on a more secluded and steep site such as the proposed one.

The plans submitted do not truly show that if two new driveways are created on Victoria Passage there is not enough turning space to enter them without trespassing on the private driveways and gardens opposite belonging to residents on Alexandra Terrace. The plans are not in scale and are completely deceptive. The architects graphics aren't factual and minimise the steep gradient of the plot.

The well-being and mental health of neighbours and nearby residents has already been greatly affected by noise disturbance and land clearance of the site. If the build goes ahead, vibrations from piling, and heavy plant machinery for the removal of existing earth to level and raise the site will cause further distress and disturbance.

The proposed buildings will then sit very high and dominate the surrounding houses. The planned housing design is not in keeping with the other properties on Victoria Passage and being two storey dwellings will be twice the height of adjacent houses. The architecture of Victoria Cottage and The Stables sit well within the hillside. They are low profile barn type buildings built with old rustic style bricks. The height was kept to a minimum to protect neighbours privacy and the views across the city for the residents of Alexandra Terrace. The new proposed dwellings will dominate and block light from residents on Alexandra Terrace, Victoria Passage and Avenue Terrace. The choice of building materials and design is stark, too modern and lacking in any character. It doesn't mirror that of any surrounding properties.

The planned houses will also greatly affect neighbouring residents privacy as the windows are situated directly opposite many bedrooms, leisure areas and gardens. Residents working from home will have their quiet environment disrupted for long periods of time, thus having a detrimental effect on their quality of life. The noise and air pollution, invasion of privacy are all factors that will contribute to mental health difficulties.

The previous contractors employed to clear the site were abusive to and intimidated many residents. So much so the police were involved. For weeks residents and their vehicles were blocked in their own driveways due to the lack of thoughtfulness and willingness to work with the local occupants by the contractors. It is a great worry of mine that this sort of abusive behaviour will be repeated over a much longer period of time due to the access difficulties and the complicated nature of the site.

The applicant has already felled trees not on their land and erected a large fence without planning consent which over steps into the unmade lane, showing a complete disregard for the planning process. Boundaries have not been ascertained with neighbouring property owners again demonstrating no respect or consideration towards local residents.

Please note due to the unacceptable behaviour of the applicant and those she employed many residents were left feeling unsafe in their own homes and are scared to object in case of any repercussions.

It appears the applicant has done very little research into the lie of the land, practicality and suitability of the proposed dwellings. Has any thought been given to the connection of utilities - electricity, gas, water and sewage for example? It is known that a large majority of Anglian Water's pipe work is Victorian and is already at maximum capacity in the locality.

The applicant seems to be after a quick fix planning application in order to reap the greatest profit at the expense of all surrounding residents. There seems to be no thought given to the fragile local environment, the damage this build may cause to 41 Yarborough Road itself and several adjacent properties.

I hope you will carefully consider all the points I have raised and reject this planning application.

MR K MANNING
CITY HALL
BEAUMONT FEE
LINCOLN LN1 1SF

25 VICTORIA ST.
WEST PARADE
LINCOLN LN11HY
26-04-2023

DEAR SIR,

I AM WRITING THIS LETTER OF
OBJECTION TO THE PROPOSED DEVELOPMENT
OF LAND AT THE BACK OF 41 YARBOROUGH ROAD
- REF 2023/0217/FUL - ON VICTORIA PARADE.

I FULLY SYMPATHISE WITH THE PEOPLE
WHO ARE DIRECTLY AFFECTED BY THIS PLAN.

DIRECTLY BEHIND IS THE MOTHERBY HILL
TERRACE ABOUT WHICH I WROTE A NUMBER
OF LETTERS OBJECTING STRONGLY TO THAT
PARTICULAR DEVELOPMENT. IT HAS CAUSED
MY AND NEIGHBOURING HOUSES TO BE -

- OVERLOOKED AND OVERSHADOWED
CAUSING LIGHT AND PRIVACY ISSUES
THESE AND OTHER CONCERNS REGARDING
VICTORIA PASSAGE INCLUDE PARKING.
TUNNELS AND WILL BE CLOSED OFF
TO RESIDENTS CAR'S WHERE WILL THEY BE
ABLE TO PARK?
ALSO NOISE HEAVY PLANT MACHINERY
RUMBLING UP AND DOWN VICTORIA ST
ALL DAY AND EVERYDAY WILL DISTURB
EVERY ONE RESIDING IN THIS AREA

YOURS FAITHFULLY
MIL D-S HOWLES



34 Alexandra Terrace Lincoln Lincolnshire LN1 1JE (Objects)

Comment submitted date: Tue 09 May 2023

I object on the grounds of:

Access - I live opposite the proposed site. I work varying shift patterns days/nights throughout the week & weekend therefore I need access to Victoria Passage and my garage at all times. I also need a quiet environment to enable me to rest after shifts. If I can not sleep without noise disturbance it will affect not only my well-being but

my livelihood too. The contractors who cleared the land last year made so much noise I had to move bedrooms in order to try get some sleep!

Noise pollution - The constant noise disturbance and disruption will have a negative impact on all surrounding neighbours.

Highway safety - Victoria Passage is a narrow track, it is already dangerous in places because of poor visibility and potholes. It will only get worse with heavy construction vehicles and delivery trucks.

Privacy and loss of light - The new builds will be a dominating eyesore. They'll block light from neighbouring properties and invade our privacy.

Appearance - The new dwellings aren't in keeping with the small low brick houses next to the site. They are much taller and will overshadow all surrounding houses. We will look down on a large brick wall and bin storage area.

I hope you take note of my objections.

Marleston Lane Newark NG24 3WD (Objects)

Comment submitted date: Mon 08 May 2023

I wholeheartedly object to the proposed plans. I work in Lincoln and have been aware of the continuation of build upon build in such a small area for many years. When is enough enough? It is beyond a joke now. When will the locals worries and voices be heard?

The proposed dwellings aren't even on a tarmac road. Is Victoria Passage actually capable of holding the weight of construction vehicles and the heavy loads they'll be carrying? I doubt it, especially now the trees which gave great stability have been removed. I have no idea how the lorries and vans are meant to navigate Victoria Street and Alexandra Terrace with vehicles parked on either side, let alone Victoria Passage which is a bumpy rutted "road" less than 7ft wide in places! Where will the building materials be delivered? The collapse of the pavement on Alexandra Terrace has been noted on more than one occasion. How will the hill safely hold vast tons of foreign materials without disastrous land slippage? Where will the builders park? Where will the residents park? How long will the build take? What about the known springs in the area, one of which is directly opposite the proposed site? What exactly are the new dwellings in keeping with? Who will enforce air pollution and noise disturbance issues? Are we not meant to be creating a greener more environmentally friendly world? Yet the wildlife has already been displaced and their green habit destroyed. The list of relevant questions is almost endless!

I'm quite frankly shocked this application made it past the pre planning stage, considering the hillside slope, already densely populated location and amazingly the lack of any structural or site survey. It is beyond belief! I am confident I am not alone in my concerns. The large volume of objections cement that.

This planning application should be rejected immediately. The council need to step up and safeguard the existing residents privacy and the communities quality of life.

Marlestone Lane Newark NG24 3WD (Objects)

Comment submitted date: Mon 08 May 2023

Our friend lives on Victoria Passage. Due to the ongoing felling of trees and land clearing during the summer of 2022 we weren't able to visit or spend time socialising in the garden as much as we usually do. There was a total lack of thought, awareness and respect for residents. The contractors left their work vehicles where ever they wished, blocking Victoria Passage, parking on and damaging private property. This meant we couldn't get our car safely down the Passageway or even into our friends driveway! The contractors employed by the owner of 41 Yarborough Road were haphazard and showed a total lack of health and safety or any regard for neighbours. They verbally abused and intimidated many local residents in their own homes or on the private lane on a number of occasions. This is wrong on so many levels and leaves an extremely worrying precedent for any future builds. It also left residents feeling scared and isolated in their own homes. As others have mentioned the contractors illegally felled trees during nesting season in the summer of 2022. The trees crashed through neighbouring fences as you can see in the architects site photo. It wasn't safe for my friend or us to sit outside or walk down Victoria Passage. The normal peace and tranquillity of this quiet area was shattered.

The site is on a very steep hill. We are worried for the safety of the builders and the residents below on Avenue Terrace if the build were to go ahead. How will the land be made stable and what will protect the houses below if machinery or building materials were to fall? The constant noise of machinery, vibrations and dust pollution was awful and made it impossible to enjoy the garden. We can only imagine what it'll be like if the build was to go ahead. It will make life unbearable for a large number of residents. Where will they all park their cars if they can't get into their driveways as we couldn't? A lot of residents have small children they can not be expected to park streets away! Where will the visitors of the new dwellings park? There are no allocated spaces for this. The offer from Mr Manning of extra permits is totally irrelevant and useless as the limited parking spaces are already over subscribed. Giving out permits does not magic up parking spaces. Our friend and many others have already paid a premium for the luxury of a property with a private driveway.

The dwellings simply aren't in keeping with the beautiful historic area and are much bigger than anything on the Passageway. They will overlook and over bear all surrounding properties. The windows and french doors look directly into the bedrooms of the terrace houses below, the gardens above on Alexandra Terrace as well as the adjacent property, Victoria Cottage.

We feel this is a terrible planning application and under no circumstances should it go ahead. We object to the proposed plans.

Please listen very carefully to everyone who has taken the time to object. If this

application is granted you will be responsible for ruining many lives and forever changing the topography of Lincoln.

34 Alexandra Terrace Lincoln LN1 1JE (Objects)

Comment submitted date: Mon 08 May 2023

I object on the grounds of:

Access - I live opposite the proposed site. I work varying shift patterns days/nights throughout the week & weekend therefore I need access to Victoria Passage and my garage at all times. I also need a quiet environment to enable me to rest after shifts. If I can not sleep without noise disturbance it will affect not only my well-being but my livelihood too. The contractors who cleared the land last year made so much noise I had to move bedrooms in order to try get some sleep!

Noise pollution - The constant noise disturbance and disruption will have a negative impact on all surrounding neighbours.

Highway safety - Victoria Passage is a narrow track, it is already dangerous in places because of poor visibility and potholes. It will only get worse with heavy construction vehicles and delivery trucks.

Privacy and loss of light - The new builds will be a dominating eyesore. They'll block light from neighbouring properties and invade our privacy.

Appearance - The new dwellings aren't in keeping with the small low brick houses next to the site. They are much taller and will overshadow all surrounding houses. We will look down on a large brick wall and bin storage area.

I hope you take note of my objections.

To Mr. K Manning,

This letter is regarding the planning application ref:2023/0217/FUL at the back of 41 Yarborough Road which is sited on Victoria passage. The application is for two 2-bedroom semidetached buildings for 4 vehicles.

We are residents of [REDACTED] and have been subjected to continual construction in the area surrounding which has been going on for the past 20 years, something which is infringing upon our legal right to peaceful enjoyment of our properties. As seen from the building site already on Alexandra Terrace we have been subject to almost continual noise, damage to roads, congestion, and parking issues which will be further exacerbated by completion of new buildings.

The proposal for Victoria Passage has fallen short in many regards:

- The design of the proposal is not in keeping with housing around the area.
- Victoria Passage is also an unadopted road which is unsuitable for vans, let alone construction vehicles. A fire engine would struggle to get to the house in case of an emergency, I would think that it might even be impossible without scraping walls or tearing down fences. This would pose a threat to surrounding properties.
- In addition, plans have been put in place to tear up Victoria Passage to lay utilities, where will these new cars go on a street which is overflowing every night?
- From research on the area stability reports of the construction site have not been completed and issues of subsidence and slumping can be seen in the local area.
- The mature trees which used to line the site which were home to a plethora of wildlife have been removed in addition to protected bat species under the wildlife and countryside act 1981. I don't know how this was allowed to happen without any form of planning permission. This shows me that the developer has very little concern for the surrounding area as that was one of the last green spaces in the surrounding area apart from Liquorish Park.
- Many residents have drives on Victoria passage, these would be blocked during construction, in addition to the poor road being further damaged, this would lead to undue stress on the already oversubscribed parking scheme for the area.
- As a resident with mobility issues, I often will not head out in the car for fear of not being able to park near my house when I get back. This will be further exacerbated by this project in addition to the new houses being built on Alexandra Terrace. The proposed new site does have parking, but additional visitors at any time of the day will further stress parking and may result in the area becoming unlivable for me. In addition, if the residents have more cars, they would be issued with parking permits which may further exacerbate the parking situation.

We object to the planning permission application being granted.

Thank you for your consideration,

[REDACTED]

Alexandra Terrace (Objects)

Comment submitted date: Tue 02 May 2023

1. The plans are not in keeping with the local area
2. Destruction of wildlife habitat was done during nesting season ; plans do not support creating a new habitat for displaced wildlife.
3. There is a large amount of building works currently in this area. And has been for many years . This is impacting on residents and their rights to live peacefully. Constant Disruption for those that are working from home.
4. Increased road use from large noisy vehicles , including road being blocked on many occasions, Victoria and Alexandra terrace .
5. There has been no consideration to local residents around parking issues in an area that is overstretched. There is no support to look at improving this issue .
6. Victoria passage is unsuitable for heavy vehicles and closing of this road will cause more parking issues for local residents . It is unacceptable to block residents from using their own driveways.
7. Damage has been caused and more possible damage to residents properties and vehicles. The roads and pavements have also been damaged .
8. Residents have been verbally abused and intimidated by developers and workers on proposed and current building sites. No support to the residents who are having to live with this.
9. Concerns over natural springs in local area . Residents feel that there is no support if properties are damaged due to land slipping and pilling down works .

MANNING

Dear Mr Manning re. Planning application - 2023/0217/FUL

This application/proposal is ill-thought out and unreasonable. It takes little or no account of issues relating to existing residents.

I often applaud and support the work of Lincoln City Council and would be shocked if they allowed this to go forward.

One of my main concerns is damage to the 'surface' of Victoria Passage, plus access for residents, many of who park there.

Some of these have made their own arrangements due to inadequate 'on road' parking - whether you pay for a permit or not...

A fair number have spent time, money and effort to create parking space on the passage.

- Part of me wonders if contractors are taking advantage of Victoria Passage being 'unadopted' (as far as I know)

Is it possible that the Council will allow the route to be closed for many months while building work takes place?!

How can people be denied access to their own homes? - Everyone knows how restricted parking is in the area - What are people to do?

There must also be issues re. emergency access - eg. if paramedics cannot gain 'front door' entry or the back of your house is on fire... Pro →

- When new housing projects are started - the Contractors generally put the 'infrastructure' in first - including roads (at least to some extent)

This is obviously to give access to heavy vehicles and machinery.

Will the Contractors be instructed to properly surface the passage (Before + after work)? Otherwise, it will become a rutted mud track - Probably dangerous for cars and maybe even to their own trucks....

I would never want to deny anyone a place to live - But I can see when someone wants to make some money (in a 'sought after' part of the City) with no regard to the problems of the project or people in general.

[REDACTED]
28 ALEXANDRA TERRACE
LNI 1SE
[REDACTED]

24.04.23.

*Apologies for presentation of this letter - hope it is readable.
PZ

Not Available (Objects)

Comment submitted date: Fri 28 Apr 2023

I am writing in relation to the above planning application to voice my objection to further development of this area. I am a resident of Alexandra Terrace.

I am concerned that this is further over development of an already densely developed area of the city, and am very concerned about the environmental impact of further development.

There will undoubtedly be further loss of valuable trees and shrubs; and this impacts the vulnerable wildlife in the area. The traffic and associated pollution of the build is a further impingement on the enjoyment of our homes. The current development in Alexandra Terrace has created dirt, dust, congestion and disruption. This will undoubtedly have a significant impact on the already over-subscribed parking on Alexandra Terrace. Further pushing residents away from their homes. For health reasons this impacts us, as walking up the hill, back to our house is increasingly difficult when we cannot park on our street. Particularly when further spaces are lost to utility work and construction vehicles and displaced residents who would normally park on Victoria Passage or surrounding streets.

Thank you for your consideration

59 Alexandra Terrace Lincoln Lincolnshire LN1 1JF (Objects)

Comment submitted date: Fri 28 Apr 2023

I absolutely and wholeheartedly OBJECT to the plans you have for the proposed building works on Victoria Terrace.

Having lived here for 9 years and paid untold fines due to lack of parking and having been constantly penalised during lockdowns while working as a key worker I think it's beyond unreasonable to think that losing another 42 car parking spaces is acceptable.

With the current works on Alexandra Terrace and the new number of properties with two parking spaces each this is absolutely unacceptable to do. Not to mention even more building traffic including lorries which have already ripped up our street causing potholes which, surprise surprise haven't been repaired.

Anglian Water have recently been appearing on our street and asking about the drains which have started backing up and I can't see how building more houses in the area helps. If anyone bothered to genuinely assess the area instead of trying to line their pockets you would realise this is a massive mistake!

It's almost impossible to have friends and family round as it is without the hassle of trying to get them parked somewhere so we can actually enjoy what little time we have together. Thanks for making it worse.

41 Victoria Street West Parade Lincoln LN1 1HY (Objects)

Comment submitted date: Fri 28 Apr 2023

There are already a large number of large vehicles frequently travelling up and down Victoria Street to reach Victoria Terrace and Victoria Passage. Living opposite to the passage entrance I can say I've seen many large vehicles attempt and fail to turn down there from the Victoria Street end, including ambulances due to how narrow the entrance is. That and the parking spaces opposite the turn can make it incredibly difficult to access sometimes even for the smallest of cars.

The number of cars in the area has also increased due to over distribution of parking permits compared to available spaces. This has lead to cars parking in private spaces for residents of motherby hill as well as parking in unmarked zones which prevent access to their spaces.

There have been many other voiced concerns regarding noise and the effects on the area but for residents nearby the loss of people being able to access their dedicated parking will have an ongoing affect to those nearby. The only possible option I can see would be to allow able bodied people to park in the thoroughly underused council car park at bottom of Victoria Street for their long term parking, with on street parking limited to drop offs and blue badge holders. This parking should not be charged for either with a local resident permit granted to every household for at least 2 vehicles (one for the resident and another for second cars or affected visitors).

59 Alexandra Terrace Lincoln Lincolnshire LN1 1JF (Objects)

Comment submitted date: Thu 27 Apr 2023

I am writing to object to the planning application 2023/0217/FUL on Victoria Passage.

It is my understanding that whilst this is being built there are plans to close 42 parking spaces. My objection is there is nothing on the plans to say where these cars are going to park. Our road is already horrendous to park on. I get home from work at 5pm and already there are no parking spaces. I work a night shift on a Friday and when I come home on a Saturday, quite often have to drive around for 30 minutes to find a parking space. The parking attendants are not understanding and I have heard them calling the road a 'gold mine' before (I live on Alexandra Terrace).

On top of this, when the building works are completed, it will again overstretch the current parking system which I will reiterate again is at breaking point as it is!

We already have building works being completed at the back of our road. We have subsidence issues with our house. I am not a structural engineer but I can't see any how all the current building works have helped. The path on Alexandra Terrace has been unusable for months due to the current works!

I am strongly objecting to this planning application and do not want any more congestion, parking issues or pollution adding to our once beautiful area.

3 Victoria Place Lincoln Lincolnshire LN1 1JA (Objects)

Comment submitted date: Thu 27 Apr 2023

I wish to add my name to the growing list of local residents who are strongly opposed to this new development application on Victoria Passage. The local area is densely populated already and parking is a nightmare without more people moving into homes in the area that are not appropriate and not needed in this area. I have not met one single neighbour who thinks that this new build in the area is a good idea, it's not wanted by the locals. With respect Mr Manning we are all taxpayers around here and voters and our voices deserve to be heard.

Not Available (Objects)

Comment submitted date: Wed 26 Apr 2023

26th April 2023

Ref: 2023/2017/FUL

Dear Mr Manning

We would like you to seriously consider our concerns.

Parking availability is already a concern at most times during the day, we are an elderly couple with a small car and often find it difficult to find a space even during the day. Our son has limited mobility and on occasion he has a nurse visit regarding his treatment. There are also numerous HMO's along the Terrace allowing multiple parking passes. Lack of spaces also limits availability for the access of visitor spaces, our house is near the 2 space and is frequently used for much longer stays.

The lorries and heavy vehicles for the on-going works at the end of Alexandra Terrace have already caused damage to the road and often restrictions to usage near them. More heavy traffic can only incur more damage to the roads of both the Terrace and the hill.


Closure of Victoria Passage would not only have a huge impact on the parking but also on block access leaving only one route off the Terrace. We have witnessed emergency vehicles having difficult access on occasions and obviously they are present due to an emergency, especially when out of parking restrictions and the other side of the road is used for parking which also limits access for pedestrians. More vehicles would just have a bigger impact.

During most days numerous delivery vehicles need to be able to make their deliveries also the regular large refuse vehicles.

Yours sincerely

David and Janet Forward

Hollie Read
Victoria Cottage
Victoria Passage
Lincoln
LN1 1JD



Mr K Manning
Assistant Director - Planning
City of Lincoln Council
City Hall
Beaumont Fee
Lincoln
LN1 1DF

20th April 2023

Re: Planning Application ref: 2023/0217/FUL - 41 Yarborough Road, Lincoln, LN1 1HS.

Dear Mr Manning,

As a direct neighbour to the proposed development site of 41 Yarborough Road I would like you to note I strongly object to the planning application for two dwellings situated within a residential garden. I hope you will take my objections into consideration when reviewing the application.

There are a number of reasons for my objection. These objections include: appearance and amenity, loss of privacy and light, overlooking, noise disturbance, air pollution, environmental impact, land movement, access, highway safety, suitability of the road and congestion, parking and quality of life.

My property, Victoria Cottage is adjacent to the proposed new dwellings. The site is a residential garden with no prior building consent. Until recently it was a vital green space and a haven for wildlife which included birds and roosting bats. The mature trees were felled in July and September 2022. This habitat has been destroyed to make way for the proposed new builds. The trees gave the land and lane (Victoria Passage) stability, were a great natural carbon capture and they successfully managed the excess water flow through absorption. In their place a very high fence has been erected without obtaining planning permission. The fence oversteps the original boundary and now limits access down Victoria Passage. The fence makes it difficult for residents of Alexandra Terrace to turn into and park in their own private driveways. Due to the fences position and height I now have very poor visibility when pulling out of my driveway. I have to drive out cautiously and blind hoping there are no pedestrians, cyclists, dogs, cats or cars coming that I can not see until I have committed to the manoeuvre. There has been no regard whatsoever for locals. The proposed new builds come out even further into the lane, encroaching on land that simply isn't theirs to take or build upon.

Appearance , Loss of Light and Privacy

"The scale and built form of the proposed dwellings relates well to the existing pattern of development along Victoria Passage and corresponds with stepping down nature of the surrounding hillside residential area."

I firmly believe this statement is not the case. My own home Victoria Cottage is built into bedrock, the garden steps down following the natural gradient of the hill and slope in which it sits. This is in keeping with the terraced houses and the neighbouring house, The Stable Block. The new proposed dwellings are to stand on an elevated terrace created by a high retaining wall. Due to this, the new builds will overlook the houses below, many of which have north facing bedrooms. These houses are No: 2, 4, 6, 8, 10 and 12 located on Avenue/Victoria Terrace. Their gardens border the boundary.

The newly elevated position means it will dominate my house, especially now all the trees have been removed. The mature trees not only created great cover and privacy, they were a haven for wildlife and a much needed green space in an overdeveloped area. Please note the trees shown on Figure 15, 16, 17, 18 and 19 of the architects drawings are purely fictional. No such trees exist. Please see my own attached photos below for a true representation.

< 21 July 2022 15:27 Edit



July 2022 before the removal of the trees, shrubs and green space. As you can see I wasn't overlooked by any properties nor could I see into the garden of 41 Yarborough Road or the houses above on Alexandra Terrace.



The two photos above were taken April 2023 standing on my own patio/garden. I am now overlooked by 41 Yarborough Road, the dormer windows on Avenue/Victoria Terrace and those looking down from Alexandra Terrace. If the proposed plans go ahead I will be able to see into the new dwellings windows, french doors and gardens. As they have a higher elevated position than my own property, the dwellings will bear down thus enabling the occupants to easily look into my property. This will hugely impact my privacy, well being and cause a considerable loss of light.



Before the tree removal.



After the tree removal.



The architects drawing shows the sheer size and scale. I have marked my own roof in red. Again please note none of this green tree cover exists.



A different angle, again clearly showing how much the dwellings will dominate my own home (shown in red) and the surrounding properties. It will make access very problematic if not impossible for residents with existing garages and driveways adjacent to and opposite the site. In particular 36, 38, 40, 42, 44 and 46 Alexandra Terrace. Please also note the architects drawings are wholly inaccurate and deceptive. The proposed dwellings aren't in keeping with any surrounding properties. They are much higher than The Stable Block and Victoria Cottage which they will sit next to. Due to the height difference the windows will overlook private gardens and recreational areas.



Figure 7 taken from the architect's report illustrates perfectly how from the bottom of the proposed site you can see directly into the properties below, their bedrooms and the gardens. This is before the land has been built up which will then give an even higher elevated position thus increasing the ability to see straight into existing bedrooms and private gardens. Even the bedrooms built into roof spaces will be dominated, overlooked and lose vital light and privacy. This shows the scale and height of the proposed builds.

The proposed dwellings are not in keeping with either the Stable Block or Victoria Cottage. Both these properties have been designed to resemble sympathetic and inconspicuous old brick barns. They are much lower in height and have no windows facing out north towards Alexandra Terrace. Only two very small skylights are visible on one of the properties.



The Stable Block.



Victoria Cottage



Victoria Cottage next to the proposed site.

Drainage

There are many natural springs in this area. One is located directly opposite the proposed site. Due to the recent tree removal on site Victoria Passage has now flooded on several occasions. Please see attached photos taken 14/04/2023.



How will the developers control the natural springs and divert the water safely without causing problems and potential damage to adjacent properties? The loss of natural porous land that will be replaced by concrete and hardstanding will stop the water being able to drain away naturally.

Highway Safety, Congestion, Road Suitability and Access

Figure 9 from the architects report clearly shows how narrow the lane is. There is a small truck blocking access to all of Victoria Passage, houses, driveways and gardens. There are no safe passing places for pedestrians, cyclists or vehicles. Heavy goods and construction vehicles pose a real problem and danger to the general public who frequently use this lane to access Liquorice Park, a sacred green space within our city. Please see attached photo of a mini digger, again completely blocking the entire lane, two driveways and a garage. Both images illustrate how narrow Victoria Passage actually is when a relatively small construction vehicle is parked there. It totally denies access for residents or anyone wishing to use the lane.



Taken from the Architects report (Fig 9.)

The unmade dirt track is unsuitable for larger vehicles or any form of heavy goods or construction vehicles. If the build goes ahead will Victoria Passage be properly and sufficiently resurfaced before construction? Who is responsible for maintaining it and any deterioration or repairs needed caused by the build? Who will ensure the road is left in a good state of repair for the residents to safely use?

Victoria Passage is a busy and widely used lane by all local residents. Many of the houses on Alexandra Terrace park at the back of their properties accessed via Victoria Passage, myself included. If we cannot gain access where will we park? A large majority of us don't have parking permits as they are not currently needed. Even if we did have permits, parking is already oversubscribed in this area.

Where will all the construction workers park their vehicles and where will they move to when we need access to our own homes and driveways? We cannot be expected to wait or have our journeys disrupted every time we need to leave our own homes. There is absolutely no room to turn around. These vehicles will either have to block someone else's private driveway or reverse back up the narrow lane on an incline which is incredibly dangerous to all involved. There is no other option. If you carry on along Victoria Passage towards Victoria Street the lane is narrow. It is an incredibly tight 90-degree right hand turn down onto a steep hill to exit the Passage. This is made harder by parked cars in the bays opposite the junction. I have seen many normal sized cars struggle or indeed get stuck. All you have to do is take a walk down and look at all the different paint colours on the walls of No 28 and 30 Victoria Street as well as the nearby bollard from vehicles misjudging the space or simply not being able to make the tight turn.

There will be a large increase in the amount of traffic travelling along Avenue Terrace, Victoria Terrace up Victoria Street along Alexandra Terrace and down Victoria Passage. These small roads already have limited parking available, many potholes and are simply not fit for such use. Please see attached photos of the roads in question.



Avenue Terrace and Victoria Terrace which lead onto Victoria Street. This street is directly below the proposed development site and one which will be frequently used by construction vehicles.



Alexandra Terrace is a narrow single road with no passing places. A sharp hairpin left turn on a falling gradient off Alexandra Terrace takes you onto Victoria Passage. The tight turn coupled with the negative camber of the lane has the potential to cause load shedding. The road is already in a poor state of repair.



The unmade lane is Victoria Passage.



It resembles a single-track country lane



Very narrow in places with tight pinch points as pictured.



Victoria Passage heading out towards Victoria Street. Picture shows newly fixed sizeable potholes. As you can see there are many locations where it is impossible to navigate a larger vehicle, digger, cement mixer, low loader, utilities van etc.





Where will the building materials be delivered and off loaded? I believe you cannot block a public highway, residents driveways or access to residents homes. If they were to fit down Victoria Passage the site itself is on such a slope it won't be feasible or safe to off load there onto site.

Victoria Passage won't withstand the weight and width of the heavy goods or contractors' vehicles. As my photographs show, a considerable amount of the lane is unmade and unadopted. During the winter it becomes incredibly muddy, rutted and waterlogged. Increased traffic and construction vehicles will churn the lane up making it completely impassible for local residents.

The build site will need securing daily and scaffolding will have to be erected. I see no possible room or space for this to happen as the wall of the dwellings is flush with Victoria Passage. How will utilities be installed? The road will need to be dug up meaning all occupants will be stuck in their own homes or unable to gain access. Please remember a large majority of the lane is a private road. What happens if there is an accident on site, an emergency or a resident needs the help of the emergency services? How will the emergency services be able to gain access if the road is restricted, blocked or dug up? I can't empathise enough the disruption, disturbance, noise pollution, air pollution and ongoing access issues that will be caused if this build were to go ahead.

Materials

The terrace and retaining wall the dwellings will sit upon is substantial. What material will it be backfilled with? Concrete and such are no good for the environment and wildlife that lives on site and in close proximity.

The sloping uneven land is much greater than shown on the architects drawings. A vast amount of new materials will have to be introduced and used on the whole site. This will have a negative impact on the enviroment, permanently changing the biodiversity in the local area and affecting the remaining wildlife. Once again please note there is no such tree cover.



I believe there will be a need for a large amount of piling and groundworks in order to stabilise the land and hold the weight of not only the garden but the dwellings too. I worry that the piling and works could cause potential ground movement and slippage. If the land can't be stabilised it could have catastrophic consequences for the houses below 2, 4, 6, 8, 10 and 12 Victoria Terrace as well as my own home Victoria Cottage.

There is no mention of frosted glass to any of the windows. I feel if the glass is normal transparent glass it further leads to an invasion of privacy for all those overlooked.

Noise Disturbance , Air Pollution and Enviromental Dust

The disruption and noise disturbance will be unbearable, obtrusive and ongoing throughout the day. This is something Ian Wicks the Pollution Officer has touched upon in his report. The working hours are limited from 8am - 6pm Monday - Saturday. This will majorly affect people who work or study from home during these hours. If the builders work outside of these hours, especially over the weekends who will enforce these breaches? What are the penalties for breaking these restrictions? The noise not only affects humans but causes great distress to the remaining wildlife and pets in the area which are paramount to our health and well being.

There will be a vast increase in traffic, vehicle use and machinery during the build all of which emit fumes and harmful emissions that will pollute the air.

The debris and dust created by the build will fall on the land surrounding the site. It will cover our gardens, damaging plant life and rendering us unable to leave our windows open and dry our washing outside let alone enjoy our own outdoor areas. We will be imprisoned in our own homes due to the noise and air pollution.

Quality of Life

I like many others in close proximity to the proposed site work from home [REDACTED]

[REDACTED] I need a quiet, calm and restful environment in order to function and live to the best of my ability. Constant noise, vibrations and disruption will be incredibly detrimental to my own health, well being and quality of life. I have already been adversely affected by the disturbance caused when clearing the site and the removal of all of the trees over a prolonged period. So much so I had to leave my own property in order to safeguard my health. I was forced to live elsewhere for a number of weeks. This is totally unacceptable and not something I wish to do again, but if the building work goes ahead I will have no other choice.

It is not only my own quality of life but all those who reside in this unique and quiet area of Lincoln. At best we will be seriously inconvenienced with access issues and noise disruption but at worst we will lose our entitlement to the peaceful enjoyment of our properties.

As I'm sure you are aware we were lucky enough to live besides a valued green space within our community and enjoyed unspoilt views that stretch across the city. This for many was a deciding factor when purchasing or renting our homes. We live busy lives, when returning home we wish to relax and unwind in peace. The simple necessity of a breathing space within a built up area has already been taken away. In its place is a bare barren landscape void of any former character or greenery. If the build was to go ahead we would be faced with a large claustrophobic mass of bricks, retaining walls and fencing dominating the scenery. We are in real danger of losing our visual amenity.

I do not believe there is a genuine need for new dwellings nor are they appropriate in this particular environment. The sheer amount of people's lives who will be negatively impacted is staggering. In my opinion this hugely outweighs any monetary gain or new homes created for so few people. I find it hard to believe that a structural survey and land stability report has not been carried out before the application was submitted. Surely this is of the upmost importance considering the hillside location and the requirement to pile all new builds within the locality.

I would like to request a site and home visit with a Planning Officer to discuss my worries further. It is imperative that the Planning Officers can see for themselves the nature of the land, the issues raised and how mine and many other homes, gardens and lives will be severely affected.

I urge you to hear our concerns and hope you can understand the gravity of the situation. We are all deeply worried about the fragile environment, vital wildlife, and of course our own homes. Many of us are having sleepless nights with the uncertainty.

Yours sincerely,

[REDACTED]

Hollie Read

1 Victoria Passage Lincoln Lincolnshire LN1
1JD (Objects)

Comment submitted date: Mon 24 Apr 2023

From the Victoria Passage Action Group I have received notification of the proposed planning application at 41 Yarborough Road, application number 2023/0217/FUL. I'm surprised I have not received notification from Lincoln City Council. I live at 1 Victoria Passage which forms the rear aspect of the proposed development and I understand will be used as the access for the construction work. Victoria Passage is not a developed highway. As far as I can tell there is no highway maintenance. The entrance at 'my end' is so tight from Victoria Street that I cannot imagine how construction vehicles could adequately turn into the passage without hitting vehicles parked on Victoria Street, the pedestrian railing or other buildings.

As mentioned the passage is more like a 'track' than roadway. It will be EXTREMELY sensitive to further damage, vibration and high levels of heavy traffic noise. I would also add that the sewage system is extremely vulnerable to damage. Anglian Water are often in the area. I would be concerned about further damage caused by construction vehicles and therefore the consequential impact on local home owners.

Gavin Street
38 Alexandra Terrace
Lincoln
LN1 1JE

Mr K Manning
Assistant Director – Planning
City of Lincoln Council
City Hall
Beaumont Fee
Lincoln
LN1 1DF

Date: 20 April 2023

Dear Mr Manning,

RE: Planning Application ref: 2023/0217/FUL: 41 Yarborough Road, Lincoln, Lincolnshire, LN1 1HS

I wish to make you aware of a number of strong objections and significant concerns that I have with regard to the proposed development of two dwellings on open space/residential garden to rear of 41 Yarborough Road, Lincoln LN1 1HS, application number referenced above.

As an immediate neighbour to the site of the proposed development, I am of the view that the proposed development will have a serious impact on our standard of living.

My specific objections are as follows:

Objections related to impact on character and appearance of area and neighbouring resident amenity – please see section ‘Objections’ and subsequent sections below.

Central Lincolnshire | Local Plan - Adopted April 2017

Policy LP26: Design and Amenity

All development, including extensions and alterations to existing buildings, must achieve high quality sustainable design that contributes positively to local character, landscape and townscape, and supports diversity, equality and access for all.

Development proposals will be assessed against the following relevant design and amenity criteria.

Design Principles

*All development proposals must take into consideration the **character and local distinctiveness of the area** (and enhance or reinforce it, as appropriate) and create a sense of place. As such, and where applicable, proposals will be required to demonstrate, to a degree proportionate to the proposal, that they:*

- a. Make effective and efficient use of land;*
- b. Maximise pedestrian permeability and avoid barriers to movement through careful consideration of street layouts and access routes;*
- c. Respect the existing topography, landscape character and identity, and relate well to the*

site and surroundings, particularly in relation to siting, height, scale, massing, form and plot widths;

d. Not result in the visual or physical coalescence with any neighbouring settlement;

e. Not result in ribbon development, nor extend existing linear features of the settlement, and instead retain, where appropriate, a tight village nucleus;

f. Incorporate and retain as far as possible existing natural and historic features such as hedgerows, trees, ponds, boundary walls, field patterns, buildings or structures;

g. Incorporate appropriate landscape treatment to ensure that the development can be satisfactorily assimilated into the surrounding area;

h. Provide well designed boundary treatments, and hard and soft landscaping that reflect the function and character of the development and its surroundings;

i. Protect any important local views into, out of or through the site;

j. Duly reflect or improve on the original architectural style of the local surroundings, or embrace opportunities for innovative design and new technologies which sympathetically complement or contrast with the local architectural style;

k. Use appropriate, high quality materials which reinforce or enhance local distinctiveness, with consideration given to texture, colour, pattern and durability;

l. Ensure public places and buildings are accessible to all: this should not be limited to physical accessibility, but should also include accessibility for people with conditions such as dementia or sight impairment for example.

Amenity Considerations

The amenities which all existing and future occupants of neighbouring land and buildings may reasonably expect to enjoy must not be unduly harmed by or as a result of development.

Proposals should demonstrate, where applicable and to a degree proportionate to the proposal, how the following matters have been considered, in relation to both the construction and life of the development:

m. Compatibility with neighbouring land uses;

n. Overlooking;

o. Overshadowing;

p. Loss of light;

q. Increase in artificial light or glare;

r. Adverse noise and vibration;

s. Adverse impact upon air quality from odour, fumes, smoke, dust and other sources;

t. Adequate storage, sorting and collection of household and commercial waste, including provision for increasing recyclable waste;

u. Creation of safe environments.

Objections

I believe that the proposed development is a direct contravention of several of the above design principles and amenity considerations:

1. The proposed development **does not make effective and efficient use of land**. The development site is a large residential garden and important green space in the heart of the neighbourhood. I believe that **there is a lack of need for the proposed development**, further compounded by the fact that it necessitates **a change of use** from the current greenfield land to a residential development.

I understand that residential gardens which are close to local infrastructure are obvious targets for development. However, as the site cannot be classed as 'brownfield land', or

'previously residential land', I believe the proposed development constitutes 'garden-grabbing' and a development that ignores the character of our neighbourhood, robbing it of vital green space.

2. In order to maximise the size of the development, the plan shows that the development site, which includes the two dwellings, and their substantial north elevation, has been pushed right up to the southern edge/boundary of Victoria Passage (see Figs. 1 & 2). According to the plans, the north boundary line of the proposed development would appear to sit beyond the current line of the wooden fence that the owner of 41 Yarborough Road installed, without planning consent, in Autumn 2022.

Access to and egress from the private parking spaces of 36, 38, 40, 42 and 44 Alexandra Terrace has become extremely difficult since the erection of this large wooden fence, which encroaches on Victoria Terrace.

The position of the proposed development's north boundary and north elevation, with no frontage area to the dwellings, means that, once the development is completed, vehicle access to and egress to my parking space and for my neighbours at of 36, 40, 42 and 44 Alexandra Terrace will be further restricted and potentially unsafe.



Fig. 1 North elevation of propose dwelling sits right on the southern edge of Victoria Passage



Fig. 2 North elevation of propose dwelling sits right on the southern edge of Victoria Passage

Fig. 3 below shows the position and scale of the proposed dwellings in red and the south boundary line of 36, 38, 40, 42 and 44 Alexandra Terrace in blue. This image illustrates the impact that the proposed positioning will have on the width of Victoria Passage at this point and the difficulty residents will encounter when attempting to access or egress their private parking bays.



Fig. 3 Illustrating the position and scale of the proposed dwellings in red and the south boundary line of 36, 38, 40, 42 and 44 Alexandra Terrace in blue.

3. **The proposed development does not respect the existing topography, landscape character and identity, and relate well to the site and surroundings, particularly in relation to siting, height, scale, massing and form.** The proposed development is significantly taller than the two nearest properties – Victoria Cottage and The Stable Block - located on the southern boundary of Victoria Passage and is therefore not in keeping with the scale and proportions of the surrounding buildings and would be entirely out of character with the area, to the detriment of the local environment. Victoria Cottage and The Stable Block were specifically built to a scale and style that is sympathetic to the character of the area and with the amenity of neighbouring properties in mind. This is not the case for the proposed development.

Fig. 4 below illustrates this discrepancy in height and mass – the existing neighbouring property, Victoria Cottage, is marked with a red circle.



Fig. 4 Proposed development is significantly taller than neighbouring properties.

4. **The mass, scale and bulk of the proposed development** and in particular the large north elevation - a 1400cm wide by 450cm high brick wall, topped with a 320cm high slate roof (see Fig. 5) – will be overbearing and dominate my view from the rear of my property and garden as well as that of my neighbours at 34, 36, 40, 42, 44 & 46 Alexandra Terrace, and be obtrusive from within these properties and their gardens.

Please also see Fig 3, which also illustrates the inappropriate scale of the proposed dwellings (in red)

This will result in an oppressive and domineering development.

I have a stressful job and my garden is a real lifeline for me – this development will seriously affect my enjoyment of my garden, both during the construction, due to noise, dust, pollution and removal of access, and also once the dwellings are completed, due to loss of visual amenity.



Fig. 5 Large north elevation – a 1400cm wide by 450cm high brick wall, topped with a 320cm high slate roof. Again, notice the difference in height to the existing property – Victoria Cottage - on the far left of this illustration.

5. **The proposed development does not incorporate and retain as far as possible existing natural and historic features such as trees.** I am greatly concerned by the loss of three large historic trees (see Fig. 6) which have already been removed from the site to facilitate the development. These significant trees were removed without consultation or the undertaking of an arboricultural survey. The removal of these trees has resulted in a loss of biodiversity – the trees and the foliage that surrounded them were a haven to local wildlife,

including nesting bats and birds. The trees were also key to the character of the area as well as providing screening of noise and visual intrusion between Victoria Passage and Victoria Terrace and Yarborough Road. I am concerned that the trees and foliage was removed with no consideration or effort made to retain them to soften the impact of the development.

The root systems of these trees also provided much needed stability and drainage to the site and to Victoria Passage. This point was made by the tree surgeon who was contracted to remove the trees.



Fig. 6 Three significant trees in situ before removal

6. **The proposed development does not incorporate appropriate landscape treatment to ensure that the development can be satisfactorily assimilated into the surrounding area and does not follow the pattern of development in the area.**

The proposed development requires the levelling of the site, which, in its natural state, slopes significantly (see Fig. 7 and Fig. 12).



Fig. 7 Illustrating the significantly sloping nature of the development site

This levelling of the site will take the form of a large-scale earthwork terrace (see Fig. 8 – the terrace is indicated with a red circle) requiring a significant mass of material added to the site, which will need to be supported by substantial concrete and metal retaining walls and will also require land stabilization design, presumably in the form of piling down to the bedrock. The proposed dwellings and their parking drives and gardens will be built on top of this terrace.



Fig. 8 – Earthwork terrace and substantial concrete retaining wall, indicated by red circle

Fig. 9 below shows (in red) the extent and depth of the terrace, which will have to be filled with material and stabilized. This image also shows the proposed boundary fence (in blue) and the side elevation of the proposed dwellings (in yellow).

The scale of the proposed terrace earthwork terrace is huge – approximately 25m x 13m – accounting for a massive weight of new material on the hillside.

Figs. 10 illustrates the scale of this earthwork from above (highlighted in red) and in relation to surrounding properties.

Fig. 11 shows the extent of the earthwork terrace (in red) with the proposed boundary fence in blue. This image also gives an indicated of the huge volume of material that will be added to the site, this sitting above the properties further down the hill on Victoria Terrace.

This size of earthwork on the hill will require significant retaining walls on three sides, particularly to prevent material moving down the hill into the rear gardens of 2, 4, 6, 8 & 10 Victoria Terrace. These retaining walls will need to be substantial and deeply anchored in the hillside. I am deeply concerned about the piling work required to anchor these retaining walls.



Fig. 9 This image illustrates the extent and depth of the terrace (in red), the proposed boundary fence (in blue) and the side elevation of the proposed dwellings (in yellow).



Fig. 10 Scale of the earthwork terrace – the area indicated in red will be new material added onto the hillside to level the site and proximity to properties further down the hill on Victoria Terrace.



Fig. 11 Illustrating the enormous scale of the proposed terrace earthwork (indicated in red) required to level the site. The proposed boundary fence is indicated in blue. Again,

this illustrates the huge amount of material added to site sitting directly above the properties on Victoria Terrace (at the right of the image).

This construction approach is at odds with other developments along Victoria Passage and in the broader area. **Fig. 12 below** shows that Victoria Cottage, (indicated by a red circle) is built to accommodate the slope of the hill, with only modest terracing for the rear garden. The whole development is not sat on a substantial earthwork terrace. This construction approach – with buildings built ‘into’ the hillside - is the case for most other properties in the neighbourhood, including The Stable Block on Victoria Passage, and those properties along the southern side of Alexandra Terrace, which are two storeys the front and three storeys at the rear.



Fig. 12 Illustrating the steeply sloping site. This photograph also illustrates how Victoria Cottage (indicated by a red circle) is built into the contour of the hillside.

7. **I am concerned that the location and design of the proposed development does not afford adequate privacy for the residents of adjacent residential properties on Victoria Terrace.**

The combined four first floor windows of the proposed dwellings overlook a total of 12 second and third floor windows at 2, 4, 6, 8 and 10 Victoria Terrace.

The distance between the south elevation of the proposed dwellings and the existing rear (north) elevations of 2, 4, 6, 8 & 10 Victoria Terrace further down the hillside measures exactly 21m, and as such is in accordance with privacy and overlooking design guidance. However, to achieve this distance, the development designers have had to push the proposed dwellings as far north as possible, which has resulted in the north elevation of the dwellings overstepping the original boundary line of 41 Yarborough Road and encroaching on Victoria Passage. If the dwellings are pushed back within the original boundary line of 41 Yarborough Road, the 21m overlooking limit cannot be achieved.

8. **I believe the proposed development constitutes over-development of the site** by reason of scale and height and in relation to the boundaries of the site and surrounding developments. There is simply no need for another development in this area – the area is already over-developed.

Objections related to access and safety impacts of the development on Victoria Passage

I object to the proposed development as I believe that during the construction period, local resident amenity, access and safety along Victoria Passage will be significantly impeded.

The proposed site of development is sloping and bare earth, so is not suitable for large vehicles to access, park or turn. The site also has no frontage on its north elevation, which is situated right on the southern boundary of Victoria Passage. I am therefore concerned about how and where construction vehicles and site staff would safely gain access to the site for unloading, parking and turning without causing a highway hazard or inconveniencing local residents who need to use Victoria Passage.

Though the plan does not propose any form of physical restriction to Victoria Passage, given the location of the proposed dwellings right at the very edge of the passage, there is no way that building work can take place without this blocking Victoria Passage for the duration of the build, which could be months.

The building of the north elevation will require scaffolding and materials to be located on Victoria Passage itself, with a building site boundary perimeter extending further beyond this to ensure public safety and site security. **This building site perimeter will therefore prevent all resident vehicle access along the passage for the period of construction. It will also mean that residents living at 34, 36, 38, 40, 42 and 44 Alexandra Terrace will not be able to use their private parking spaces for the duration of the build out.**

Construction traffic will also severely impede access and egress for all the other properties who access their private parking spaces from Victoria Passage. With work on the site starting at 8am and finishing at 6pm, residents may find themselves unable to leave their parking spaces and exit Victoria Passage to drive to work or return to their parking spaces after work.

Victoria Passage provides essential access to the private parking spaces of 20 properties on Alexandra Terrace, three properties on Victoria Passage itself and two properties on Victoria Street. Victoria Passage also provides essential access to the private parking spaces of five properties on Yarborough Road who are not able to park on Yarborough Road directly outside of their properties. **In total, Victoria Passage provides access to 30 properties.**

Victoria Passage also provides access to 42 private resident parking spaces. This means 42 cars are removed from the oversubscribed parking bays on Alexandra Terrace, Victoria Street and Victoria Terrace. Construction traffic using the passage, damage to the passage caused by these vehicles and the blocking of Victoria Passage by the development site itself will impact on all resident parking spaces, in terms of access and safety.

I therefore strongly object to the proposed development on the basis that it will significantly negatively affect the amenity relating to private parking access via Victoria Passage for all 30 properties.

Objections related to damage to Victoria Passage and safety issues caused by construction vehicles

Victoria Passage is a narrow thoroughfare and for much of its length is unadopted. It is used by local residents to access private parking spaces to the rear of their properties and for resident pedestrian

access to the rear of properties. The larger section of the thoroughfare that is unadopted is not maintained by the local highways department.

Victoria Passage is, therefore, a fragile thoroughfare and largely in a state of poor repair, particularly towards the western end of the passage, where it resembles a farm track. It is also extremely narrow in places and **only 270cm wide at its narrowest point**.

It is my concern that the volume of construction vehicles, combined with the size and weight of these vehicles (scaffolding trucks, cement mixer trucks, trucks carrying heavy materials etc) using Victoria Passage to access the development site, will have a significant detrimental effect on the stability and safe functioning of this important thoroughfare.

Damage caused to Victoria Passage by the volume and type of traffic required for such a development would, I believe, render the thoroughfare unstable and unsafe for resident access by vehicle or on foot.

Furthermore, there is restricted access to Victoria Passage from Victoria Street. Vehicles travelling up the hill of Victoria Street are required to turn on the steep incline to squeeze through the gap between 28 Victoria Street and 30 Victoria Street onto Victoria Passage, which is a difficult manoeuvre in a small car, let alone a larger construction related vehicle. This is compounded by the poor state of the road surface at this point on Victoria Street.

A further complication is the parking of cars in the space on Victoria Street directly opposite the entrance to Victoria Terrace. This hinders vehicles of any size from swinging round to achieve the required angle to access Victoria Passage safely.

A large concrete bollard, which has been introduced to protect the bottom corner of 28 Victoria Street from damage by vehicles, also projects into the space between the buildings, which again makes access by vehicles potentially hazardous if attempted. (see Figs. 13 & 14). A number of vehicles have hit this bollard in the time that I have lived in the property and the bottom corner of 30 Victoria Terrace has also been damaged during this period. There was also an incident where a large truck became wedged into the passageway when attempting to access the passage from Victoria Street and this blocked the thoroughfare and Victoria Street for several hours.



Fig. 13 Access to Victoria Passage from Victoria Street – note the bollard protecting the bottom corner of 28 Victoria Street



Fig. 14 Access to Victoria Passage from Victoria Street, which requires a tight turn by vehicles. Note bollard at bottom of left-hand property.

As construction vehicles will not be able to access Victoria Passage from Victoria Street, they will instead need to access Victoria Passage from Alexandra Terrace.

This will increase the volume of large vehicle traffic along Alexandra Terrace significantly. Heavy construction vehicles that have been serving a property development to the far western end of Alexandra Terrace have already caused significant damage to the road surface on Victoria Street and Alexandra Terrace.

Where construction related vehicles will need to access Victoria Passage from Alexandra Terrace, the condition of Victoria Passage is in particularly poor repair – (see Figs. 15, 16, 17 & 18)



Fig. 15 Poor condition of Victoria Passage surface at Alexandra Terrace access point. Note the construction vehicles being used for a current development at the end of Alexandra Terrace parked on the incline to Alexandra Terrace and on the terrace itself, restricting access.



Fig. 16 Poor condition of Victoria Passage surface. Note the close proximity of Victoria Passage to the Alexandra Terrace property (on the right of the image). Note also how narrow and steep Victoria Passage is at this point.



Fig. 17 Unstable condition of Victoria Passage surface where it is bare earth and deeply rutted.



Fig. 18 Poor condition of Victoria Passage with ad hoc repairs – bricks used to stabilise fragile passage surface.

The concreted surface at the entrance to the passage is broken and deeply potholed already (**Fig. 15**) and further along, where the passage becomes a bare earth track (**Figs. 16, 17 & 18**), it is deeply rutted and extremely slippery and unstable for vehicles when it rains. The entrance to Victoria Passage at this end is also sloping and requires a tight turn to the left – effectively a U-turn - from Alexandra Terrace to access it. Larger vehicles would struggle to make this turn safely. They would instead need to drive to the turning point at the end of Alexandra Terrace to turn around, again, potentially damaging the road surface.

At this end of Victoria Passage, the thoroughfare passes extremely close to Alexandra Terrace properties that back onto it (**see Figs. 15 & 16**). Large vehicles attempting to navigate the potholed surface of the passage would potentially cause excess noise, vibration, dust and pollution to those properties.

Once a construction vehicle has committed to travel along the one lane Victoria Passage, there is nowhere for it to turn around. If a vehicle is coming the other way, that vehicle will need to stop and reverse along the passage, which is not a safe manoeuvre, particularly for residents walking along the passage. Alternatively, the construction vehicle would have to reverse back along the narrow passage, up the steep incline, which is already badly damaged, and back out onto Alexandra Terrace, which again is not a safe manoeuvre.

Once construction vehicles reach the site of the proposed development, which is roughly at the midpoint of Victoria Passage, there will be nowhere off road for them to park.

Because the boundary of the development building site will extend onto Victoria Passage, construction vehicles will not be able to proceed along Victoria Passage to exit onto Victoria Street. Neither will they be able to turn. They will therefore be required to reverse back along Victoria Passage and back onto Alexandra Terrace. This will be extremely unsafe for other users of the passageway, particularly pedestrians.

If construction vehicles are somehow able to continue past the development site along Victoria Passage to exit onto Victoria Street, as aforementioned the gap between 28 Victoria Street and 30 Victoria Street is extremely narrow (**see Fig. 19**) and encroached on by the large concrete bollard protecting the corner of 28 Victoria Street. Additionally, if a vehicle is parked in the parking space on Victoria Street directly opposite the entrance/exit to Victoria Passage (where the black car is parked in the Fig. 19), it would be an extremely difficult and unsafe manoeuvre to turn a larger vehicle onto Victoria Street. This is particularly dangerous for pedestrians walking up or down Victoria Street who cross this passage as vehicles exiting the passage at this end are blind to pedestrians wanting cross the end of the passageway.



Fig. 19 Narrow passage between 28 and 30 Victoria Street. Note the bollard protecting the bottom corner of 28 Victoria Street, and the cars parked opposite, both of which can make it incredibly hazardous to exit onto Victoria street in a car, let alone a larger construction vehicle.

Objections related to ground stability and drainage

I have serious concerns about the impact the proposed works could have on the stability of the proposed development site and on the properties immediately surrounding it.

In the document **DESIGN_AND_ACCESS_STATEMENT-685019** it states that:

'A structural report and land stabilization design is currently being prepared by a structural engineer. This will be submitted in due course.'

I am concerned that this report has not yet been submitted, which would, I hope, include slope stability analysis, definition of groundwater depth below the site, foundation design and details of existing and proposed retaining structures.

I fail to see how the process to grant planning permission can continue until comprehensive land stability surveys of the site and surround land have been undertaken, which should include the test borings to define groundwater depth, particularly given the spring that flows under the site. Such tests are undertaken over a significant period to accurately record groundwater changes. Have such surveys been scheduled?

I contest that this development cannot be considered until these surveys have been undertaken, reports submitted and analysed and the potential limits on development and repercussions to land stability caused by the development are fully understood.

The stability of land can have significant implications as to what form of development is appropriate or could be considered. There are circumstances where the instability of land may preclude certain types of development. **I therefore challenge the fact that plans for the proposed development have been produced before the a comprehensive site survey has been undertaken and the stability of the land of the site, and the land adjacent to the site, have been properly understood.**

I am particularly concerned that the proposed development requires the existing sloped site to be levelled through the addition of a significant mass of material held in place by retaining walls (**see Figs.9, 10 & 11**). The proposed dwellings and their driveways and gardens would be situated on top of part of this levelled area. This approach to construction is completely at odds with other property construction on Alexandra Terrace and Victoria Passage.

I am concerned that the 'stabilization design' for such a construction, which may require significant piling works, would be detrimental to surrounding properties and resident amenities.

The potential outcome of such works, given the large-scale plant required and the nature of the process, would include:

- Significant noise for local properties / residents
- Significant vibration causing potential damage to nearby properties
- Plant instability caused by steeply graded development site and variable ground conditions – where would piling machinery be safely 'anchored'?
- Hazards of buried or overhead services
- Effects on drainage of rainwater and groundwater down the hill and from Victoria Passage
- Effects on subterranean watercourses

I am aware that a subterranean watercourse (or spring) flows down the hill intersecting Victoria Passage and continuing under the development site. Again, I am concerned about drainage and ground stability issues arising should this subterranean watercourse be blocked or otherwise affected by land stabilization measures employed by this development. The development site would require test bores to below excavation level to establish the flow of water under the site and define groundwater depth.

I am also aware that the root systems of the three large trees that were located on the boundary of 41 Yarborough Road, which were cut down to clear the development site, are still in situ. The tree surgeon who worked to remove the trees strongly suggested that the roots of the trees should not be removed as they provide stability to the site and to Victoria Terrace. Will these root systems be removed to accommodate the earthwork terrace? Do the developers intend to leave the root systems in place and build over them?

Summary

Overall, I feel that the proposed development **ref: 2023/0217/FUL** at **41 Yarborough Road** fails to consider the surrounding townscape, reflect the local character in its scale and mass and comprises an undesirable overdevelopment of the site. The proposal represents a significant intrusion into my and my neighbours' properties and is disproportionately overbearing in nature, affecting the enjoyment and amenity of all the properties surrounding the development, including those situated

on Victoria Passage, those properties backing onto/with access from Victoria Passage and those properties further down the hill on Victoria Terrace that sit immediately below the proposed development.

Statement: Direct effects on my personal amenities caused by proposed development ref: 2023/0217/FUL at 41 Yarborough Road

It's important that I state that I chose to buy my property specifically because it offered a slice of the countryside, in the form of Victoria Passage and the green space of the rear garden of 41 Yarborough Road, in the heart of the city. Despite being located in this central urban location, a five-minute walk down the hill to the town centre or up the hill to the Cathedral and Bailgate, my property offered quiet, greenery, nature, calm, light, views across our city and a real sense of community.

My job requires me to be based at home but regularly visit and work from our Lincoln offices and also regularly work from our offices and other locations across the county. I therefore specifically chose a property that would:

- a) Provide a quiet and peaceful environment for the work I undertake at home.
- b) Provide easy access to our Lincoln office.
- c) Allow me to come and go in my car to work from county-wide locations without worrying about if I would be able to park at home, particularly as I often return late in the evening.

The proposed development severely effects or removes all of the above amenities from my property.

Already, with the removal of the trees and green space and the erection of the unauthorised large wooden fence, my enjoyment of my property and my neighbourhood has been significantly impeded.

I also need to stress that in the four years I have lived on Alexandra Terrace, we, as a community, have had to contend with the negative effects of continuous building development in the neighbourhood, whether that be the Motherby Hill development or the seemingly endless development at the western end of Alexandra Terrace. Quite frankly, this area is developed enough – over-developed in fact – and it would be so wonderful if we could now just enjoy the amenities that myself and my neighbours moved to this very special part of Lincoln for.

I would therefore be extremely grateful if the council would take my objections and concerns into consideration when deciding this application.

I would also like to formally request a site visit by representatives of the planning department to our neighbourhood and the development site, so that I, and my neighbours, can illustrate our concerns and objections at first hand.

Yours sincerely,



Gavin Street

Dear Mr Manning and team,

Please find enclosed my concerns regarding the proposed planning of new build of 2023/0217/FUL.

Major concerns re Planning Ref: 2023/0217/FUL

As a member and resident of the community I have major concerns regarding the building plans for the proposed residential dwellings neighbouring onto Victoria Passage. Both for the actual unimaginative design of the buildings being proposed, but also the impact on the local land site and the whole infrastructure of this. The whole area has had a known reputation of being called slip hill back, in days previously for good reasons. Every further build that takes place creates yet another impact and thus the butterfly effect. The councils Housing Strategy 2020-25 incorporates the need for inclusion of environmental surroundings and to be aware and incorporate this. Building in an already building challenged area is not the way forward. The well known springs under the area are of massive concern already. And any further building/construction work will impact all structures within the vicinity most definitely in the future.

This concern cannot and must not be under estimated and any parties involved in doing investigations and exploration work must have no bias or involvement with the parties involved in designing, planning and building towards this proposal.

The amount of building work that has taken place along at bottom of Motherly Hill, top of Victoria Hill, along end of Alexandra Terrace and Yarborough Hill has affected us and our quality of life overall all in many, many ways. All of which has continually impacted access driving and pedestrian routes for all community residents for many years on and off.

Alexandra Terrace access road has been continually blocked and is always a frustrating issue for all people with vehicular access, pavements have had reduced access and there are people both with mobility issues as well as young families with pushchairs. Having made this a challenge when access is made narrower it, they have to cross over to them cross back again.

This will also impact properties along Victoria Passage as people with land/garden access, park along here and will have challenges getting in/out with any relative ease. This is without adding the large lorries for refuse collection days and any vehicular access needed by Emergency services. Which can prove tricky on a good day but is always a necessary anywhere.

My next concern as a local resident is the noise levels impacting us as residents, from large vehicles continually throughout the day, this will also disturb much natural wildlife including Bat communities within this area. The removal of trees and essential greenery for this said wildlife is also of concern, as part of this proposed site area already seems to have been cleared of trees etc, before permission has been granted. As in previous building work in this whole area, has been removed without prior official permission. Noise pollution is massive especially when it is continual, day in day out. Mon-Fri 8-6pm and Sat 8-1pm.

What I would like to know is, plans are there for re instating natural habitat that has been removed once building work if approved, has happened.

We have already experienced much interference with ongoing building work and had to endure this for the last however many years, especially with the continued building work on Yarborough Hill up to end of Alexandra Terrace. Large vehicles have constantly moved up and around Alexandra Terrace/Victoria Passage area and causing not only noise but constant vibrations. It's a real disturbance to our quality of life continually. If people doing the work over this prolonged period of time lived with this day in and out, they may be a little more empathic.

Size of vehicles is a concern and the duration that they will need to stay and drop off materials, the movement of machinery in and out of these tight confined access routes and how any heavy weight manoeuvred along here will cause further subsidence issues. Which is always an underlying concern for many especially adjoining Victoria Passage itself. The damage that large heavy construction vehicles will cause to an already poorly maintained road with a surface that's not designed if at all for heavy goods vehicles. There are already many potholes and heavily damaged areas which are becoming more and more of an issue, as the heavy vehicles trying to use this Passage way continue to churn up the earths surface.

We have already had to put up with collapsed pavements as a result of failure to follow basic planning regulations which have been dangerous and unsightly for local residents.

In conjunction to the movement of heavy vehicles as access and machinery, there will be further problems created by the digging up of Victoria Passage to lay pipe work for Utilities, water, gas etc.....and these don't always work hand in hand and work in synchronisation in real life situations. So this will potentially cause further challenges to already challenged accessibility to all properties within the area. It simply cannot go on and really does impact quality of life for us a local residents.

Where is evidence of full site surveys not part surveys, which obviously need to be done. Including full investigations through boring samples etc before anything planning/building wise can go ahead, as this area is known for underground springs and a mixture of clay composite within the soil content. It is vital after the subsidence and collapse of the building work which is still ongoing 6yrs later between Yarborough Hill and Alexandra Terrace.

The pavement area has been blocked off and unuseable ever since. With all this in mind this all will have further impact to neighbouring properties as movement of heavy machinery, the actual Drilling/boring work itself will cause vibrations and disturbance to all the surrounding community.

We have huge concerns about drainage within this area already, and further building work will impact this a great deal more.

I feel the plans for proposal that have been put forward to be built are quite unimpressive in appearance and boxlike. They do not enhance in any way or capture the features and qualities of the local community buildings and existing residential properties surrounding within the area and they appear to be incorrect in places. The proportions on plans, do not seem to take into consideration the existing buildings and private gardens that have not been overlooked upon previously, and now going to be surrounded by buildings, appearing too high in comparison to what is already in this area, thus causing big privacy issues regarding existing privacy for all nearby residents and occupants living there.

All of the above points and disturbances and inconsistencies of previous building work working this area need to be given the fullest consideration and that local residents have quite frankly had enough of the lack of consideration for local inhabitants with the unimaginative new build designs, dirt, movement, constant traffic, the worry of further man induced subsidence, dirt and noise Pollution, removal of beautiful and necessary wildlife habitat and more. I sincerely hope that you will take into consideration what a strong knit community feel about their local area and how we wish to protect this for future generations.

There is also continued concern regarding parking alongside accessibility, and this does not seem to have been addressed as of yet as to what will happen in this area. It's a continued area of concern but we as local residents are still left with no pro-active plan moving forward.

We are all acutely aware of the impacts of climate change and how this is constantly impacting us both locally and regionally and nationally. We really need to concentrate on preserving what little we have left within our community as it is vital to people's overall health and well being. Living in an overbuilt and overcrowded area is not conducive to achieving this fragile balance.

I sincerely hope that our concerns as Individuals and as a combined community are fully heard and acted upon. As it is important.

Yours sincerely

Heike Ibbotson (of 34 Alexandra Terrace,
Lincoln, LN11JE)

[REDACTED]

Mr Jamie Hawker
77, Alexandra Terrace
Lincoln
LN1 1JF

Mr K Manning
Assistant Director-Planning
City Hall
Beaumont Fee
Lincoln
LN1 1DF

19/04/2023

Ref: 2023/0217/FUL

Dear Mr Manning,

I wish to object to the development of 2 semi-detached buildings with driveway parking for 4 vehicles, on the land to the rear of 41 Yarborough Road.

The area in which I live has been a permanent building site for at least 20 years now, and I cannot believe that more development is planned for the local area. Victoria Street and Alexandra Terrace have been subjected to the noise and disruption caused by construction traffic almost non-stop, and I cannot remember the last time that I had the privilege of the peaceful enjoyment of my home.

Let me remind you of the development in my area over the last 20 years: First the demolition and rebuild at 53-59 Yarborough Road; then the development of West Hill House; the lengthy construction of The Heights along Carline Road, to the rear of my property; Erin Alice Court, the large student housing block at the top of Victoria Street; the houses at 84-86 Alexandra Terrace; the terrace of houses at 1-8 Motherby Hill; the extensive flats at 63-69 Yarborough Road; and the new build currently under way on Alexandra Terrace, which has been an active construction site for 6 years now. Excavations for this last development created a large sink hole, that was simply left for years before **residents** were finally successful in getting the Council to do something about it. The residents NOT the developers!

With the exception of the builds at West Hill House and Carline Road, **ALL** construction traffic has had to use Victoria Street and Alexandra Terrace to access their respective development sites.

I have had enough of the construction noise and pollution. I have had enough of the vibrations caused by construction work and the passing heavy plant, which make my house shake and my cupboards rattle. I have had enough of the building site dust on my windows, on my car, and in my eyes and mouth. I have had enough of the slippery mud on the road from the wheels of the construction traffic which makes my car difficult to steer on the camber. I have had enough of Alexandra Terrace being blocked by delivery lorries and heavy plant. I have had enough of getting to work late. I have had enough of not being able to sleep during the day after a night shift. I have had enough of trying to find alternative parking when our roads are closed. I have had enough of dodging traffic wardens when our parking spaces are reduced. I have had enough of construction management plans that do nothing to minimise the disruption caused during the builds. But mostly I have had enough of the arrogant disregard shown to residents of this community in allowing the persistent over-development of this area.

Liquorice Park is the only green space now left in what was once a little piece of countryside within the city full of wildlife. Sound pollution is having a huge effect on what wildlife remains, but the owls are gone, the foxes are gone, the montjac deer are gone, and the precious bats continue to be persecuted having now lost yet another roost as a result of the developers illegal actions so far.

The on-line plans I have seen appear inaccurate, and the proposed building is out of keeping with the local area. It is too big, too high, and will deprive existing local residents of their privacy. The Heights has already taken my privacy, so I know what that feels like.

No site investigation or land surveys have been carried out yet, and there is a real potential threat of structural damage etc to the adjacent properties from pile driving, and the effects of heavy excavation of the site. As already mentioned there is a history of slippage and movement on construction sites in the local area. The threat to properties adjacent to the proposed development at 41 Yarborough Road is very real, especially as the proposed site is near an underground spring, and is on a hill. A land slip caused by unstable subgrade or water seepage could also have disastrous consequences for traffic using Victoria Terrace, Avenue Terrace, and the major artery that is Yarborough Road.

Groundwater problems can also continue after construction producing delayed movements of foundations, unstable slopes and retaining walls. There is a reason why the Victorian's chose not to build on Victoria Passage!

The un-adopted road that is Victoria Passage is NOT suitable for construction traffic. The necessary plant will not be able to negotiate the tight bend at the top on Alexandra Terrace safely, and, as there is no turning circle available and exiting onto Victoria Street is not possible, machinery will therefore need to reverse back up the passage way. How is a pile driver going to be transported safely down here?

This brings me to my next point. At least 12 vehicles use the car parking spaces on Victoria Passage. These spaces would quickly become inaccessible as the surface of the un-adopted road disintegrates as a result of use by large site traffic. This will force the residents to park their vehicles on the streets instead which uses an over-subscribed residents parking scheme. This will therefore exacerbate the existing parking problems, imposing further stress and disruption on the lives of people in the wider community. Many residents have to regularly park as far away as West Parade, Hampton Street, or Richmond Road as it is. We have had construction management plans in the past. They do not work!

If permitted this new development will extend the living hell I am currently experiencing, threaten the health and well-being of our community, and endanger our properties. Planning permission should be refused. I look forward to your response.

Yours Sincerely,

Jamie Hawker

Beatrice Kelly
79, Alexandra Terrace
Lincoln
LN1 1JF

K Manning
Assistant Director-Planning
City Hall
Beaumont Fee
Lincoln
LN1 1DF

21/04/2023

Ref: 2023/0217/FUL

Dear Mr Manning,

I am writing to you in response to the current proposals to build 2, 2 bedroom, semi-detached buildings with driveway parking for 4 vehicles and rear gardens, on the land at the rear of 41 Yarborough Road, and wish my opinion to be taken into consideration in this matter. I strongly object to this development.

The 13 page planning proposal (Planning Portal Reference: PP-12035487), contains several incorrect statements which I would like to correct:

- Work on this development has already started: the land has been completely cleared of all trees and shrubs, and hard standing of limestone laid.
- New vehicular access will be needed from the public highway
- The pre-existing vehicle parking spaces will be effected by the proposed development
- The trees that were removed in late 2022 were important as part of the local landscape character
- The site is within 20 metres of a watercourse; an underground spring lies close to the site
- The proposed development would increase the risk of flooding elsewhere if the course of the spring is disturbed
- The trees that have already been removed were an important wildlife habitat, especially to the bats that roosted there, and I believe bats are still classed as an endangered species.

As this photograph shows the site was, until September 2022, a thriving woodland garden, untouched for years and years, apart from a bit of gentle maintenance from a few caring residents.

The way that these trees and shrubs were removed, consequent damage to neighbouring fences, intimidation of residents local to the site, the theft of land that formed part of the mainly un-adopted road that is Victoria Passage, and the erection of the over 3 metre perimeter fence around the prospective site without planning permission, has already given us an insight into the tactics and ethics of this developer.



Water and foul water is to be disposed of by main sewer; but the current sewage system is already over-stretched and running at full capacity in this area. The natural drainage of the area will also be affected by this development.

The photos of the proposed site included in the Design and Access Statement were taken after the site was cleared of all of its trees. Figure 7 actually shows the damage done to a neighbour's fence as the trees were being cleared.

The Design and Access Statement asserts that the site is outside of the West Parade Conservation Area. If this is the case why have residents along Victoria Passage been refused permission for installation of chimney's and solar panels being told that they were living with-in a Conservation Area! I am currently awaiting clarification of this matter.

These plans do not include a structural report or land stabilization design, as one has not yet been carried out, and the removal of the established trees and shrubs has already created a potential threat to the stability of properties along this hillside development. Slippage could affect a very wide area and has previously occurred at four other local developments; the last being the large sink hole on Alexandra Terrace.

Alarming the proposed site is close to an underground spring, and so the risk of land movement is significantly increased. The flow of groundwater below the surface is a fundamental property that controls the strength and compressibility of soil, and can impact its ability hold up on structural loads. Common ground water issues during construction include unstable subgrade, unstable excavation, and water seepage, resulting in major construction delays and cost overrun. The finished development may also suffer from continued water seepage causing wet walls, mold growth, cracked and uneven floors, cracked and uneven walls, unstable slopes and retaining walls, and even unstable foundations.

A site visit by the allocated planning officer and an independent long-term accurate and comprehensive survey/stability report must be done, and the findings reviewed, prior to planning permission being granted. Subsurface investigations using test borings and/or test pits to depths below the anticipated excavation must form part of this survey, to accurately define the ground water depth and conditions. I am advised that due to the slow rate of flow in cohesive soils etc, piezometers and other subsurface instruments, it may take months to precisely record groundwater changes and pressure, and this will add considerable cost to the developer.

The Design and Access Statement also mentions that the site has an access road to the North of the property; there is no mention of the fact that this is in fact a mainly un-adopted road, highly unsuitable for use by any construction traffic. This raises the question of whether access to the site by construction traffic using this very narrow track would even be safe!

Thankyou Mr Manning for the quick reply to my email, however in the response sent on 21/04/2023 you state that the majority of Victoria Passage is an adopted road; it is not, which is why the County Council don't maintain the potholes which are in places very big and very deep. It is allegedly an adopted road up to number 46 Alexandra Terrace, but from 48-76 it becomes unadopted. Thank you for confirming in the same email that the County Council will need to *"potentially impose some limitations regarding access."* This brings me to my next point.

Residents of Alexandra Terrace and Yarborough Road access at least 10 car parking spaces to the rear of their properties on Victoria Passage. As these spaces will be made un-accessible during the build, this will push these vehicles into the local Residents Parking bays which are already over-subscribed, increasing the major parking problems already experienced by ALL local residents. Given the impact on residents in the larger local area I am therefore extremely concerned that more residents were not informed of this planning application, and there is nothing posted on the illegal fence around the actual development site itself.

Your email of 21/04/2023 mentions that should planning permission be granted on the site it would be reasonable to require the developer to fund the cost of additional residents permits to cover the construction period should it be clear that Victoria Passage is likely to be substantially restricted for a significant length of time. This would be secured via a legal mechanism during the planning process, but will also add significant cost to the developer.

Feedback from Lincoln City Council at the pre-application stage in October 2022 stated that the scale of the development should be in keeping with similar buildings in the area; it is not. The plans I have seen appear to be misleading and inaccurate. It even shows trees; trees that have in fact already been removed. The development is far too large, too high, unacceptably intrusive, and will both overshadow and overlook existing properties, causing loss of light and depriving adjacent residents of their privacy. This is in contradiction of the pre-application advice given by Development and Environmental Services.

This will be another lengthy project involving major construction work, once again causing stress, and disruption of the local area. For over 20 years now my quality of life, and that of my family, has been affected by the almost constant development of this area:

- The flats at 53 – 59 Yarborough Road directly in front of me; accessed by heavy site plant using Victoria Street and Alexandra Terrace. (This took years to "complete", yet work continues here at the moment, and the so called "temporary structure" put up 20 years ago still stands).

- The development of West Hill House on Motherby Hill
- The huge development of 1-15 The Heights along Carline Road directly behind me, which has deprived me of and other residents of our privacy. (As the phot taken from my garden shows the promised tree screen was only planted minimally so as not to obscure the view for the flat's occupants. The community has also been left with an eyesore, as part of this site has been left as a building debris dumping ground.)
- The student housing block at Erin Alice Court; another lengthy development accessed by heavy site plant using Victoria Street and Alexandra Terrace.
- Construction of 84 and 86 Alexandra Terrace; accessed by heavy site plant using Victoria Street and Alexandra Terrace.
- The large development of 1-8 Motherby Hill; accessed by heavy site plant using Victoria Street.
- The new flats along Yarborough Road 63 A&B – 69 A&B, the excavation of which caused the sink hole on Alexandra Terrace; accessed by heavy site plant using Victoria Street and Alexandra Terrace
- And the new build currently under construction on Alexandra Terrace; accessed by heavy site plant using Victoria Street and Alexandra Terrace.



This active development has been a construction site for 6 years now: the construction noise has been, and remains continuous; the Terrace regularly blocked by delivery lorries; and my property and neighbouring properties subjected regularly to extreme vibration, construction dust and emissions. There is no policy of "considerate construction" here; residents have even been verbally abused by the site workers, whose daily use of foul language just communicating with each other is both unacceptable and intimidating. There is regular poor site safety and working practices, but though I have reported their actions anonymously no action has been taken, and standards have not improved.

Our narrow streets are not designed to accommodate such large site plant, and have already been damaged from ongoing use of construction site traffic, the resulting pot holes simply left to grow in size. The one on the blind bend at the entry onto Alexandra Terrace now measures 83 x 58 x 9cm deep at its widest point! Our pavements have also been damaged by the large plant that has had to use them to be able to clear the cars using the on street parking.

Alexandra Terrace has quite an extreme camber, and during the Winter this camber can make driving hazardous; vehicles can easily slip and slide, and there have been collisions and accidents here as a result. Despite this the Terrace has repeatedly been adversely affected by mud spread from the wheels of the construction traffic, a contravention of Site Management AND Highways Safety Regulations.

The un-adopted road that is Victoria Passage is certainly not fit for use as an access road for heavy plant as can be seen by the photograph on the left. There is room for cars and small vans, but NOT large construction vehicles. An ambulance needed access to the rear of 46 Alexandra Terrace recently and only just made it. A fire engine on the other hand could NOT get down.



The existing site entrance for the active Alexandra Terrace development is to the right of the red car pictured, and has a similar steep decline, but is much wider, and has a hard, stable tarmac surface.

I live almost opposite this turning onto Victoria Passage, and have witnessed the many difficulties experienced by large, sometimes very large, construction traffic from this active site trying to access/exit the Yarborough Road/Alexandra Terrace build; especially when the steep slope is muddy. HSE.gov.uk states that work should be arranged so that road going vehicles do not drive onto mud on the site, and that if wheels and ledges are likely to pick up mud the site should anticipate this and install a wheel wash. This has not been done; all this access point sometimes gets is a sweep down with a brush. As already mentioned mud spread further down Alexandra Terrace is NOT cleaned. Debris flung from site traffic tyres has damaged resident's parked cars, including mine.



Granting planning permission for the development on Victoria Passage will mean double the amount of construction traffic trying to access/exit their respective sites, using almost the same entry point. However the entry onto Victoria Passage from Alexandra Terrace is actually an unstable, untarmacked, and much steeper slope as shown in the last photograph on page 3.

Interestingly the images of the development site included on the Design and Access statement do not feature any taken from Avenue Terrace/Yarborough Road. The photograph on the right clearly shows that this site cannot be accessed safely from the front of the property, unless the supporting wall is to be taken down, which will cause further lengthy disruption to the local area. This means that the only site access will be from Victoria Passage. The available on-line plans do not show the impact of the build from this elevation either.



Our little community has now been over-developed; every available green space with the exception of liquorice Park has now been built upon. These developments have also massively increased the residential traffic that uses Victoria Street with its dangerous blind bend at the top. Again there have been collisions, and the increase in traffic volume increases the risk of further accidents.

The National Planning Policy Framework (NPPF) came into effect in March 2012, the latest version published on 20 July 2021. The NPPF recognises that the design and use of the built and natural environment are major determinants of health and wellbeing and I quote:

"The impact of development on human health and wellbeing is therefore a material consideration in the determination of planning applications."

This development will again have a major, major impact on the health and well-being on every resident living here. The noise disturbance will be ongoing throughout the day from 8am to 6pm Mon-Fri, AND 8am till 1pm on Sat. We already have an active building site, and the increase in construction traffic will increase the already unacceptable level of pollution, noise and congestion, endanger road safety, and continue to risk the structural integrity of our properties.

The further urbanisation of this area will also continue to have a massive impact on the surrounding wildlife which is equally as important, what little we have left that is! Quoting from Lincoln City Council's Housing Strategy Document 2020-2025:

"The challenge of limiting the impact of new development on the environment is particularly important, especially in the light of the Council declaring a climate and environmental emergency. We understand that communities wish to see their physical environments protected."

Lastly the area to be exploited was and remains a **green field site**; it has not been previously developed, or occupied by a permanent structure. This development is motivated by greed, not need.

Enough is enough. I have the legal and ethical entitlement to the peaceful enjoyment of my property. Planning permission should be refused.

Yours Faithfully,

Beatrice Kelly

R Kelly
12 Neile Close
Lincoln
LN2 4RT

Mr K Manning
Assistant Director-Planning
City Hall
Beaumont Fee
Lincoln
LN1 1DF

21/04/2023

Ref: 2023/0217/FUL

Dear Sir,

I wish to object to the proposed development on land behind 41 Yarborough Road, Lincoln.

I used to be a resident on Alexandra Terrace. My mum is unfortunate enough to still live here.

Nobody's quality of life should be affected in this way.

Victoria Street and Alexandra Terrace are not designed for such heavy plant. They are damaging the roads and pavements, and the construction traffic has even caused damage to cars parked in the vicinity! The windscreen of my mum's car has been chipped as the result of a stone being thrown up from the surface of Alexandra Terrace by a flat-bed lorry carrying a digger. Her car was fine when she parked it, yet on returning to her vehicle shortly after the large plant gone up the street her windscreen was damaged. On approaching the developers she was simply told to prove it was the site traffic that had caused the damage. This is also unacceptable.

Granting planning permission for the build at the back of Yarborough Road would effectively double the amount of construction traffic on Victoria Street and Alexandra Terrace. The escalation in construction traffic would increase the already unacceptable level of pollution, noise and congestion, significantly endanger the safety of its residents, and further affect their health and well-being.

Permission for this development should be refused.

Yours Faithfully,

Rose Kelly

Apartment 4 The Old Printers Hampton Street Lincoln Lincolnshire LN1 1LG (Objects)

Comment submitted date: Mon 24 Apr 2023

I am writing in objection to the plans to build 2 semi-detached buildings with driveway parking for 4 vehicles, on Victoria Street to the rear of 41 Yarborough Road.

My childhood was spent living in a construction site. First at the front of the house, then behind it, then up the street, then down?..it was endless. The enormous build behind us on Carline Road meant that I could no longer play in the garden with my sister as it was too dangerous after a bulldozer broke its track and came crashing through the garden fence.

I loved living on Alexandra Terrace, and I loved my house, but 2 years ago the constant development of the area meant that I had to find somewhere else to live. I couldn't cope any more with the constant noise of development, the constant smell, the almost constant taste, and the constant tremors which shook my house and made pictures fall off the walls.

I know I'm not far away, but I miss the very special little community that was Alexandra Terrace. No-one should have their quality of life affected so much that they feel they have no alternative but to leave the area they love, and yet many people have been forced to do just that. The community has been affected as a result.

I am objecting to the build on the grounds that this area has been consistently over-developed for 20 years now. The remaining residents should not now be subjected to yet another build. The last development given permission is still under construction, and has been for 6 years!

- The roads are damaged
- The pavements are damaged
- The houses are damaged
- The residents are damaged
- The greenspaces have gone
- The wildlife has gone
- The sense of community has gone
- The faith in our councillors has gone

I have found a quiet flat where I can now sleep undisturbed during the day if I need to, and have replaced the glass in my picture frames as they no longer fall off the walls. My flat is a peaceful place. The residents of Alexandra Terrace, Victoria Street, and Victoria Passage should also have the opportunity to be able to finally enjoy their homes peacefully too.

Planning permission must be refused.

14 Kingsley Street Lincoln Lincolnshire LN1 3JN (Objects)

Comment submitted date: Sun 23 Apr 2023

I am a resident of Lincoln and very proud of how close the city is to nature with parks, commons, avenues of trees and beautiful houses with stunning gardens which attract a wealth of nature and wildlife right in the centre on our urban landscape. I am a regular walker as I do not drive and as I live uphill I have taken joy in finding different routes through the West End when shopping or for leisure. One of my routes is through Liquorice Park, a beautiful space and the cutting of Victoria Passage as it's a pleasant and quiet Lane where I (and my son when he joined me) would happily see and hear the birds nesting in the trees of the fab wilderness that was part way down. To my surprise last year I saw that it has all been cleared and now has this planning being put forward. I was very upset and dismayed to hear that yet another inner city plot has been created for housing which is already a pretty built up area. I can only think that with the gradient of the hill there will be many issues with building. I also believe there is a natural spring along the lane as often on my walks I have to be wary of the very wet and muddy track that doesn't drain quickly, I'm sure the trees would have helped a lot with drainage. On investigation I have seen the plans of the dwellings and think how they would affect the local residents with overlooking the properties below and not a picturesque view for those above. Many residents park on the lane and have garages so im sure will not be happy with the likely blocking of such a narrow lane when construction takes place. I hope that my view will be taken into consideration as that of an individual who takes great interest in the future development yet sustainability and beauty of this impressive city.

49 Yarborough Road Lincoln Lincolnshire LN1 1HS (Objects)

Comment submitted date: Sat 22 Apr 2023

The access along victoria passage can barely maintain the current level of residential traffic. Victoria passage will become unusable with the addition of building machinery and eventually increased residential traffic.

There is currently extensive building work in the area that has been in progress for at least the last 3 years causing noise and traffic disruption, further simultaneous building work will only increase the current disruption.

Parking is already a premium around the area, and hard to find space at the best of times, adding further vehicles (trade vehicles in the short term and then residential vehicles) will only compound the issue.

Construction of the dwellings will remove much needed and valuable green space in the area.

New dwellings will decrease the already declining period look of the area. Becoming an eyesore to a very architectural beautiful area.

42 Alexandra Terrace Lincoln Lincolnshire LN1 1JE (Objects)

Comment submitted date: Sat 22 Apr 2023

My objections are as follows:

1. The the development of the proposed building (foundation and sewage pipes construction, etc.) may lead to the land slippage close to the site (clay soil and an underground spring), which may apply negative impact on the neighboring properties
2. The north boundary of the proposed development is right on the edge of the passage opposite my parking space. The vehicle access to my property's parking space will be severely restricted and potentially unsafe. It is already difficult for vehicles to park in the space due to the large wooden fence that has been constructed recently.
3. The proposed building will block the great views of the city from my house which was the main reason of my purchase of it. It will a big shame of losing the beautiful views.
4. The loss of wilderness in this heavily congested area. There has been a loss of trees already.
5. The proposed building will overlook properties on Alexandra Terrace. There will be little privacy in their gardens.

46 Alexandra Terrace Lincoln Lincolnshire LN1 1JE (Objects)

Comment submitted date: Sat 22 Apr 2023

We want to express our concern about the planning application to build two houses on the orchard land belonging to 41 Yarborough road. The plans outline the houses would face into Victoria passage and use this as their full and only access, this faces our property. Although our front door is on Alexandra terrace, the main windows of our house and the living room in particular, and our garden, face Victoria passage, which we also use/need to access our house. We are greatly concerned about the impact of any such build on the proposed site and the implications for our house.

1. Stability of the land. The trees on the land kept it stable. Now these have been removed there is concern about the effect on the land. We understand there are underground springs that flow in this whole area and are concerned how the flow would be effected by the proposed build and the subsequent effect on the land and houses around. Piling would be needed due to the instability of the land, as

experienced by neighbours of the ongoing Alexandra terrace build, this would greatly impact on the area and concern is about impact directly to the land adjoining the proposed site following the subsidence of the Alexandra terrace footpath. The build could be extended, like the Alexandra terrace build, and cause undue stress to those living nearby.

2. Loss of privacy. The planned houses are not in keeping with the area. The proposed plans show housing that would greatly invade the privacy of our house, and of our neighbours, looking directly into our properties. An adjacent site was restricted to a single storey house.

3. Loss of view. Previously neighbours to the proposed site were only granted to build a single storey home to protect the privacy of neighbouring homes, but also to protect the view of the city that the Alexandra Terrace homes have. The view is a very valued, special feature of our house and any loss of view would be devastating.

4. Noise pollution from the build and increased traffic. There's already increased noise in our garden due to the orchard trees being removed. They absorbed so much of the traffic sounds, buildings will deflect it. There would be increased noise from work vehicles travelling along the terrace as well as from the work itself. If piling is needed the noise would greatly effect families living opposite, disturbing those with young children and those working from home? Our gardens are a place to rest and relax, which would be greatly impacted.

5. Air pollution. Dust etc from any building work would greatly effect the quality of the air in the neighbourhood, as would additional traffic associated with the build. The freedom to sit in our garden and enjoy fresh air, and to hang our washing out in the garden would also be impacted from the dirt and dust created by the work on the site.

6. Increase in traffic during build and after. Apart from the additional noise and pollution I have outlined there is the damage work vehicles would cause, to the already worn passage way. It is not a suitable surface for that kind of traffic. It is a means for residents to park their cars on their property due to the lack of parking, especially for our side of Alexandra terrace, on which we cannot park. Even though we have a parking permit it does not guarantee a space. Even with parking spaces included the plans, additional visitors to the properties would be looking to park on Alexandra terrace/ Victoria street or terrace, in what is already outnumbered capacity due to two sides of the road only having parking access to one side. The new build would increase the number of cars using Victoria passage even further.

7. Concerned about possibility of damage to our property as it is on the edge of the proposed site. The green shed at the end of our garden, shows the end boundary of Alexandra Terrace properties and highlights how narrow Victoria passage is. It may have an appearance of being wider in different parts, but this is due to people giving up part of their garden to be a parking space for their car, it is still their land.

8. Restraints on access to our house during the build and after. The concern is work vehicles blocking Victoria passage, and the lack of space and congestion which will be caused by the car parking spaces/access for the proposed houses. As the layout of our house on Alexandra terrace includes narrow stairways access from the rear of our house is vital, to remove items of furniture etc...but even more importantly access for emergency help such as the ambulance that helped our mum.

9. Inability of big vehicles to travel along Victoria passage. The council refuse collectors don't collect along the passage as they say they don't have vehicles that

would fit. They refused to collect from our house for my elderly mum, they wouldn't come that far along, so how would rubbish be collected from the proposed new houses? An ambulance attended for my mum and paramedics had to use a stretcher through the back door/garden due to the design of our house. The ambulance had to reverse down Victoria passage from Alexandra terrace in order to be able to drive that way out again, the ambulance unable to fit the tight bends at the other end of Victoria passage onto the hill of Victoria street. So how are work vehicles going to access the site? The truck used to clear the Yarborough road site blocked Victoria passage, and our access, and we had to ask for it to be moved in order that we could collect garden rubbish, which we have to take to the tip, because the garden waste truck can't get down Victoria passage either. Access to our properties should be kept clear all times, how would this be ensured whilst build work was in progress? How would ambulances access our houses from the back if there was an emergency? How would the fire brigade deal with a fire at the proposed houses if a fire engine can't fit down Victoria passage?

10. Damage to Victoria passage, who will be held accountable to repair? Victoria passage is narrow, and only in part adopted by the council. Any kind of work vehicles using the passage continually would undoubtedly cause additional wear and tear to the passage surface and consequently impede access for those of us who need to use it for access or parking.

11. The build would add to the density of property and vehicles already in the area. I was very sad to see the orchard cleared in such a way. I appreciate neighbours who keep the height of trees in check to maintain the view of the city we have, but removal of all the trees was very sad, not least for the wildlife that used them. I'm sure that bats we saw flying around in the evening used the trees for roosting.

12. Our mum recently passed away and we have had to make the decision to sell our family home of more than 60 years. We are now concerned that the prospect of a proposed building site opposite could deter potential buyers, devalue our home, and the impact of the build itself on those who do hopefully purchase it. It has been a wonderful home, with fantastic views across the city, and don't want its future to be impacted in the ways we have outlined above.

We hope that all the points we have raised will be taken into consideration by the planning officer and investigated thoroughly.

Yours Faithfully,
Mrs P. Gilmore and Mrs J.M. Dawes.

**Wood Sorrel Cottage Wood Lane Newark NG22
0GX (Objects)**

Comment submitted date: Fri 21 Apr 2023

I wish to object to the planning application ref 2023/0217FUL - 41 Yarborough Road, Lincoln LN1 1JS

Access/Health and safety

I am contracted to carry out maintenance work on Victoria Cottage, Victoria Passage in conjunction with other property maintenance.

I cannot access Victoria Passage from Victoria Street due to the tight turn in and parked cars opposite the turn. I therefore have to access Victoria Passage from Alexandra Terrace. I drive a medium sized van and find it extremely difficult to navigate Victoria Passage due to its restricted width.

I have been further inconvenienced by large builders vehicles blocking access off Alexandra Terrace to Victoria Passage whilst they struggle to find a place to unload or are actually unloading for work at the end of the street.

The proposed development on Victoria Passage represents an even more restricted site than that at the end of Alexandra Terrace.

How is this proposed development to be supplied with materials?

How is the spoil and other materials to be removed from site ?

Where will the lorries park to unload and collect ?

How will large vehicles get down the Lane ?

Who will maintain and pay for the maintenance of the unadopted Lane whilst construction is under way.?

What safeguards will be put into place to protect the interests of the adjoining neighbours property that back onto the Lane ?

Who will enforce this protection ?

Where will the construction workers park their vehicles during the build ?

How will the residents and those such as myself who have business along the Lane access their properties ?

How will the emergency services gain access should there be an emergency bearing in mind that for Victoria Cottage, The stables and the Gables Victoria Passage is their only means of access.

Planning Application/ Materials/Stability of the land

Study of the proposed plans submitted by the architect shows them to be at best inaccurate and misleading, or at worst a work of fiction.

"The Block Plan" shows the North face of the proposed development fronting onto Victoria Passage. This positioning of the front elevation is wrong. They have moved the frontage out past what is owned by 41 Yarborough Road by approximately one metre. I have photographic evidence of the old boundary wall before the clearance of the site and the felling of the trees, a number of which were outside the curtilage of the property.

The siting of the proposed development will further restrict access along Victoria Passage by reducing its width and making it very difficult for existing residents of Alexandra Terrace to access their own properties.

Further, as the footings, to comply with Building Regulations, will have to be wider than the house walls they will extend further into Victoria Passage thus causing a trespass.

Will negotiations be entered into by the developer to pay rent on land maintained at

the owners of Alexandra Terraces Expense ?

Who will police and enforce any agreement ?

Returning to the submitted plans under the heading "Proposed Floor Plan" the plan marked "Site Section 1.200" is completely wrong and bears no relationship to the actual topography of the land.

The drawing shows what appears to be a retaining wall immediately in front of the Northern elevation of Victoria Terrace. This is shown on the drawing as retaining a massive volume of land, allowing for gentle slope leading up to a patio and the houses themselves.

In reality this boundary is not a retaining wall, it is a garden fence. How a garden fence will be able to hold back what will be several hundred tonnes of material is open to question.

The land actually slopes in an almost linear line from the base of this indicated garden fence/retaining wall to the base of the front outer face, that is the north face, of the proposed development.

Therefore all the land, including that which the proposed development sits on (shown shaded in grey) will have to be made of imported material foreign to the site.

That represents a colossal amount of material with a corresponding massive additional weight being placed on ground where no stability survey has been submitted as part of the Planning Application. Just a vague commitment to produce one in the future, this for land with a known record of instability.

If the land is stable why do building Control insist on piling to bedrock on all new developments in the area ?

One cubic metre of 10mm aggregate weighs in the region of 1.500 metric tonnes.

To visualise that against what will be required to level the site a cubic metre can be represented by a building suppliers bulk aggregate bag.

Bearing in mind that aggregate is heavier than soil then volume for volume there will be a substantial increase in weight placed on the site.

Will that help stabilise the land or not ?

Finally

The architects conclusions. Point 6 of their submissions are totally at odds with the reality of the situation.

The proposed development does not relate well to the existing pattern of development being between 30-50% larger in volume and height compared with Victoria Cottage next door. Nor does it step down but steps up with a massive proposed infill to bring it to the level of Victoria Passage.

The proposals do not "make effective and efficient use of the site area"
They dominate and intimidate the surrounding area.

The development does not harmonise in any way whatsoever with surrounding properties, particularly in scale, therefore does not "coalesce".

"The proposals low for the incorporation of appropriate landscaping

and boundary treatment". The cutting down of all trees on the site as well as the destruction of all the shrubs and natural habitat for wildlife and species such as bats does not define " appropriate landscaping and boundary treatment".

Surely if the proposed development was sympathetic to the area, as they claim, they would have made every effort to safeguard and incorporate as many of the mature trees as possible ? That would have enhanced the development more than a few " arty impression" trees stuck on the drawings.

It is also interesting to note that on the architects submission they chose to use photographs showing trees in situ. All have now been felled. Nothing remaining. Driveways will not be able to be accessed or egressed safely. Occupants of the proposed development will have to pull out blindly onto Victoria Passage because of the design and will only be able to get into their drives by driving over the private property of the houses on Alexandra Terrace.

To summarise :

So far, trees have been cut down, habitat lost, an illegal fence without planning permission has been erected. The fence has been put up outside the curtilage of the property, thus representing a land grab, or theft. The plans are inaccurate and support the false acquisition of land and the footings as shown will constitute a trespass.

No stability report has been submitted with the application. Why not ?

This unfortunately brings to mind the expression "winging it".

I am of the strong opinion that not only is the proposed development inappropriate but is more worryingly unsafe. I have serious concerns for the properties on Victoria Terrace and for their occupants as well as the occupants of the proposed development due to the known unstable nature of the ground.

I urge the Council to reject this application for the reasons I have stated above but primarily on safety grounds. I felt it beholden on me to place my fears on record and in the public domain, as we all have a duty of care for the safety of everyone.

Paul Read

68 Alexandra Terrace Lincoln Lincolnshire LN1 1JE (Objects)

Comment submitted date: Thu 20 Apr 2023

I wish to express my concern about the proposed plan for 2 dwellings on land belonging to 41 Yarborough but actually located on Victoria Passage - an area that runs along the rear of my property and a number of other residents.

As residents we have suffered constant building work for the last 20 years with properties being built on Yarborough Road. And for the last 6 years another nightmare involving the erection of 4 new houses. These were scheduled for completion 2 years ago and they are still in the process of being built. The heavy plant, constant noise, pollution and , let alone parking issues, have ruined lives for

years.

The current plans for 2 dwellings along Victoria is not acceptable - there are so many issues including: suitability of development of the confirmed; an underground spring in the immediate vicinity of the site which could cause localised flooding; the current sewage system is already overloaded; the scale of the site is not in keeping with surrounding area - this area is already over-developed!; Victoria Passage, as an unadopted road is NOT suitable as an access road for the development by heavy construction plant and the installation of utilities; the noise disturbance will be horrendous, as it has been for years - we have had enough; parking is another issue - we have serious problems already - if the residents who park their vehicles at the rear of their properties along Victoria Passage no longer have that facility - where will they park - no Alexandra Terrace - there is no room; there is an environment issue - all established trees and shrubs have been removed and created a potential threat to the stability of the hillside. There are many more issues I'm sure will be raised by other residents - please consider seriously before granting permission.

34 Long Leys Road Lincoln Lincolnshire LN1 1DP (Objects)

Comment submitted date: Thu 20 Apr 2023

Having worked at properties on Alexander terrace I know that the alleyway behind the houses is too small to cope with the extra traffic this project would bring. I think squeezing two properties onto what is a garden is very poorly conceived and will detract from the area.

Roxby House Moor Road North Owersby Market Rasen LN8 3PR (Objects)

Comment submitted date: Thu 20 Apr 2023

Will have a negative impact on the properties surrounding the area. Many are old properties and already showing cracks where the ground has shifted over time. Disrupting the ground during building works will have more of an impact on these properties.

30 Victoria Street Lincoln Lincolnshire LN1 1HY (Objects)

Comment submitted date: Thu 20 Apr 2023

My husband and I live on the corner of Victoria Passage and Victoria street at No 30 Victoria street, and as such I am hugely concerned about the construction of more housing in this area, and the subsequent effect these new developments are having on our community.

Each development brings with it, congestion of housing, roads, and increased traffic in an already congested area. We have chaos on the hill, from residential traffic and service providers, such as delivery vehicles, repair and maintenance services etc,

each new house brings more and more traffic to an already crowded area.

The corner on which our house is situated, has seen numerous encounters of vehicles getting stuck trying to get access to the passage, the houses either side have been scarred on the walls.

We have reached a saturation point of housing in this area.

Construction traffic has been a nightmare, causing road damage and inconvenience , and Victoria passage construction with regard to noise and subsequent quality of life will be unbearable.

Yours

Jacqueline McCaughern

30 Victoria Street Lincoln Lincolnshire LN1 1HY (Objects)

Comment submitted date: Thu 20 Apr 2023

This is a formal objection of to a proposed dwelling development on Victoria Passage.

I, amongst other residents in my area strongly deplore and oppose any new developments on Victoria Passage. The reasons for my objection are;

1. Noise pollution because of work; There have been several large scale developments in this area already in recent years (Erinalice Court at the top of Victoria Street, and Bailgate Mount on Victoria Street. The time scale for both projects were vastly underestimated and didn't include the extra time required for negotiating heavy machinery up a very steep hill. This problem will be exacerbated by the extremely limited and difficult access to Victoria Passage. (Very narrow and tight turn off Victoria Street or steep turn from Alexandra Terrace into narrow lane.)
2. Car parking; Even of car parking bays of some description were included in the development's plans, the dwellings would attract further vehicles being parked in an area that is already far beyond its car parking limit.(Friends, and relatives of the occupiers of said properties.) As it is, it is very often impossible to find car parking spaces in the area, either in the residents designated spaces or 2 hour spaces.
3. There has already been land slippage close to the development (clay soil and an underground spring,) and this necessitated pile-driving into the ground. This would be impossible for this very restricted site because of the size of the pile-driving machines.
4. The loss of wilderness in this heavily congested area; Already there has been a loss of trees .(with no prior warning to the residents of the area.) The trees were well known to have been used by bats as roosting sites. With such disregard for wildlife already, I have no confidence that the developers will show any respect for the area or its residents, both human and otherwise.

25 Westcliffe Street Lincoln Lincolnshire LN1 3TZ (Objects)

Comment submitted date: Thu 20 Apr 2023

The access to this area is incredibly tight and really not suitable for further vehicles. It is difficult to negotiate and will cause further problems for the current householders and Tennant's, already struggling with limited access. Also, there is a very potential of ground slippage and destabilisation on the whole hillside. As was seen a few years ago with spring hill. The moving springs that appear all along the escarpment will be further affected by the building work, potentially causing more damp problems for the other properties in the area.

10 Longdales Road Lincoln Lincolnshire LN2 2JU (Objects)

Comment submitted date: Thu 20 Apr 2023

I am writing an objection to the planning for two 2 story houses on Victoria passage. The location is a small highly populated area with families and elderly people! The local community look after the community space that is liquorice park this small area that the proposed plans are for was a wonderful tree covered space which local wildlife thrived in!

My objections are on the basis of cramming to houses in a small area which will not only encroach on the privacy of the houses on Victoria terrace! Their houses and gardens will be completely overlooked by these two properties! The two story buildings will also stop the wonderful views that the residents in Alexandra terrace have!

The area is made up of older properties and new builds should be built in keeping with the aesthetics of the local area. Many people work from home and the noise and air pollution in building these houses will greatly impact their lives.

The passage is not suitable for anything more than a small car and the area the proposed plans are is not large enough for work vehicle to park on so where would these vehicles park? On the passage blocking access to the residents drives or on the road taking up spaces residents pay permits for.

I really hope the plans are seriously looked at as I feel as though no thought has gone into the plans and their design when other plans have been limited to a single story building.

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The passage is not suitable for anything more than a small car and the area the proposed plans are in is not large enough for work vehicles to park on so where would these vehicles park? On the passage blocking access to the residents' drives or on the road taking up spaces residents pay permits for.

I really hope the plans are seriously looked at as I feel as though no thought has gone into the plans and their design when other plans have been limited to a single story building.

41 Victoria Street Lincoln Lincolnshire LN1 1HY (Objects)

Comment submitted date: Wed 19 Apr 2023

This planning application should be refused for the following reasons -

The planning application needs to take into account that the proposed access for the occupiers and their vehicles would be on a private road (unadopted road), which they cannot just use without prior permission and the current residents would not grant this. In addition, as the access is a private and very small lane (which the occupiers have already attempted to take and reduce further without permission) not only would it be difficult for any of the construction vehicles to access, but any scaffolding required to build the property would not only be on private land without permission but would block many residents from accessing to their private parking spaces.

The council should not be swayed by the misleading use of words within the application, stating 'vacant' garden, which is an attempt to mislead the planning committee, as this is the current garden for a property, which can and would be used by the occupiers, and is not a derelict plot. Also, the current plot did have many bushes and trees on the site which housed wildlife, yet this was all stripped prior to the planning application. Furthermore, figure 15 onwards are not providing a true representation of the access to the proposed property as the current area is not surrounded by trees but by a private road/access which leads to private parking for the residents of Victoria Street.

The development is not in keeping with the area, as most of the surrounding houses are Victorian semi-detached and terrace houses and from the north view this design does align with these buildings. The plans also suggest that the loss of privacy is minimal which may be the case for the houses north of the property, however the

property south of the development would lose most of their privacy.

Considering there has been subsidence within the surrounding area, there is a lack of documentation in relation to the stability and suitability of the development on this site. There are also underground springs in the immediate area, therefore further developments may increase the risk of flooding, if these springs were disturbed.

West Parade is already struggling with the current pressures, hence the A4D clause, yet this is just another way to get around this clause by building further houses in small space with reduced accessibility. This area, as you know, is already struggling with regards to amenities and the current sewer system as it is full to capacity, therefore it would not cope with any further pressures.

40 Alexandra Terrace Lincoln Lincolnshire LN1 1JE (Objects)

Comment submitted date: Tue 18 Apr 2023

I am writing this email in opposition to the proposed planning permission being sought for two dwellings on Victoria Passage. I am the owner of 40 Alexandra Terrace which is directly opposite the proposed site.

Below I will detail a few points I wish to raise to you in opposition of the plans. I do feel as though there has been no thought gone into the plans and the people who have drawn up the plans have clearly not investigated the location. There is complete disregard for all the neighbouring properties and people's lives.

Safety

One of the main concerns I have is in relation to safety if planning permissions is granted. The area they wish to build is only accessible via a small poorly kept dirt track. I have seen the effect building work has and the disruption it causes on main road so I can only begin to imagine what effect and detriment it will have on this track. It is not a road it is called Victoria Passage for a reason. It is small and is not maintained by the council therefore we as local residents look after it. I myself have a medium sized family vehicle and I at times struggle to get down the track if people are working or people have parked badly. This small track is not suitable for large vehicles let alone heavy goods vehicles. The trucks that would be required to deliver building supplies to the location or take away soil and rubble would not fit. The only way vehicles can access this passage is via Alexandra Terrace, most cars are able to drive out of the turning at the other end of the passage and onto Victoria Street. This however can be tricky even for smaller vehicles due to cars that park legally opposite the turning. No large vehicle would be able to make this turn without causing damage to the properties either side of the turn or vehicles opposite the entrance. Therefore, they would have to reverse either down the track to the drive out the same way or if they drove forward down to the site, they would then have to reverse all the way back. This will put people in danger having large goods vehicles reversing up or down the track as members of the public use this track to walk down, take dogs for walks or allow children to ride bikes. The risk is great due to the

blind nature of the track as it bends halfway down. These large trucks that would have to reverse would not see a small child playing on the track or on their garden which back straight on to the passage.

Track

The track itself is not suitable for large vehicles due to it being a dirt track with large potholes that form which residents deal with. These holes are formed from limited small cars driving up and down so I could only imagine the damage that a large truck would cause. It itself is not wide enough for anything large to travel up and down it. The property lines go right up to the edge of the road with some houses having shed to the edge of their boundaries. There is a small shed on the edge of a property which would be opposite the proposed site. This would mean no vehicles would be able to come out of the site at the area without causing damage to the shed.

Hill

Due to living on a hill in older properties the ground is not stable we have seen cracks already appearing in the properties that is being caused by trucks currently driving along Alexandra terrace for another building site. The trees which have been cut down would have been great support to the hill. We can see the damage the building work towards liquorice park has caused to the public footpath. The currently building has caused a large section of the footpath to completely collapse in rendering it unsafe for pedestrians. This was a new purpose-built path- I dread to think of what affect building will have on Victoria passage. The digging on that hill will cause the passage to collapse which will then have a knock-on effect to our drives and gardens which will in turn effect the stability and foundations of our houses. If the passage was to collapse even a small amount then this will make our properties inaccessible. Many people who live on that row of houses solely use their rear door for access to and from the property.

View/Height

The small building that is next to the proposed site was limited to one story building so as not to block the view of the properties on Alexandra Terrace. Due to this they were only able to build a single story Dorma bungalow. I cannot see how they would be able to have a 2-story building in that location when the neighbouring plot was limited to single story.

Privacy

The properties on Victoria Terrace's will be directly overlooked, they will have little to no privacy in their gardens or in the rooms that are at the back of the property. The proposed building have the majority of its windows looking out onto the city so as to make the most of the view. This view that we as residents had grown to love. I brought this house due to the great views it has which are not looking to be blocked by two large two story houses. No regard has gone into the fact these two building will block at the very least 6 properties views.

Disruption

Many people work from home and the disruption will be great- noise and

environmental pollution would be unbearable for the residents. This is a small residential area that is not a through road, so it is the perfect area for family and elderly people to relax in their houses taking in the wonder view. This will be majorly disrupted by the vehicles travelling up and down all day. We also like to sit in our gardens, but these gardens will be right in front of the site so how could we relax or hang out our washing when heavy machinery will be going constantly, and dirt and dust being flung around. I have heard that they have stated that they would take large vehicles up the road and decant items into smaller vehicles to travel down to the site. I don't know where this transfer could occur as it is a small road with vehicles parked on one side due to the narrowness of the road. There is a small turning space at the end by Liquorice Park that residents use to turn around this is not a suitable site as access is always required. The houses are small terrace houses that face straight onto the road so large work truck driving up and down.

Access during building

The drives the properties on Alexandra terrace have back straight onto the track (Victoria passage) there is not enough room for delivery trucks or builders' vehicles to park while building is being done and they cannot use the track to park due to the constant access the residents on both Alexandra terrace, Victoria terrace and yarborough road need. Many residents solely use their drives and do not have a parking permit to park on the road due to cost and the fact that the amount of vehicles on the road means parking is tricky. I can just foresee that large lorries, trucks and vans lining the passage and blocking access too or from our drives. The residents have a right to be able to get off their drives and should not have to wait for van to be moved all the time. The site is so small there would be not space to store building material whilst the build is ongoing therefore numerous trucks will need to deliver supplies daily which will also make getting to and from our drives a nightmare. There are times people will need to get to places in an emergency and they should not have to wait for deliveries or builders to get out of their properties.

Access for both existing drives and new drives

The track is a thin track and at times it can be tricky to get on and off our drives when neighbours park obscurely. The proposed plans show two driveways either side of the properties these vehicles will struggle to get off their own drives due to buildings at the end of the properties of Alexandra terrace. We have opened our drives to allow our vehicles turning room onto the track. We have also done this due to the blind nature of the track and the fact children and dogs run down it. A drive next to a building would not allow vehicles to get on or off the drive easily. That paired with the blind vision that they would have as they would not be able to see past the buildings therefor putting other drivers and pedestrian in danger. They have proposed the buildings to be built right up to the Victoria Passage therefore making driving and access to our properties harder.

Bats

I have personally seen bats in the trees which were cut down- clearly no though has gone into wildlife and protected animals nesting sites. The people who had the trees removed are clearly only thinking of profit and not in relation to the local area and the protections that bats carry.

I really hope that you can take into account my concerns and comments and really look into what we are raising and why we are opposing the plans.

14 Alexandra Terrace Lincoln Lincolnshire LN1 1JE (Objects)

Comment submitted date: Sun 16 Apr 2023

Concerning the various issues, directly relating to:

Access, Noise pollution, Vibrations and movement, Stability of the land,
Environmental dust and air pollution.

Furthermore there will be significant loss of privacy and light to those in immediate vicinity.

6 Avenue Terrace Lincoln Lincolnshire LN1 1JB (Objects)

Comment submitted date: Sat 15 Apr 2023

These two houses would be constructed at the back of the house im currently in. We have been struggling with building work surrounding us and disturbances all year and this new building work would cause a claustrophobic environment, noise pollution not to mention the loss of privacy

Consultee Comments on revised drawings



LINCOLNSHIRE COUNTY COUNCIL'S RESPONSE TO CONSULTATION ON THE FOLLOWING DEVELOPMENT PROPOSAL

District: Lincoln City Council
Application number: 2023/0217/FUL
Application Type: Full
Proposal: Erection of 1 dwelling (revised plans)
Location: 41 Yarborough Road, Lincoln, Lincolnshire, LN1 1HS

Response Date: 10 November 2023

This report includes the Substantive response of the Local Highway and Lead Local Flood Authority to a planning consultation received under the Development Management Order and includes details of any planning conditions or informatives that should be attached in the event that permission is granted and any obligations to be secured by way of a S106 agreement.

General Information and Advice

Please note that although the Definitive Map and Statement proves the existence of any recorded rights of way, there may be further or higher rights that are not shown on this document that the County Council is not currently aware of. This would be especially relevant where the public has had informal access to the site or where there are references to routes across this in maps or other historic documents. As the County Council has received no application to recognise further rights of way affecting the site, no more informed guidance can be offered at this stage.

Application number: 2023/0217/FUL

Application Type: Full

Location: 41 Yarborough Road, Lincoln, Lincolnshire, LN1 1HS

Highway and Lead Local Flood Authority Report

Substantive Response provided in accordance with article 22(5) of The Town and Country Planning (Development Management Procedure) (England) Order 2015:

Recommendation: No Objections

Having given due regard to the appropriate local and national planning policy guidance (in particular the National Planning Policy Framework), Lincolnshire County Council (as Highway Authority and Lead Local Flood Authority) has concluded that the proposed development would not be expected to have an unacceptable impact upon highway safety or a severe residual cumulative impact upon the local highway network or increase surface water flood risk and therefore does not wish to object to this planning application.

Comments:

The revised proposal is for the erection of 1no. dwelling and it does not have an impact on the Public Highway or Surface Water Flood Risk.

As Lead Local Flood Authority, Lincolnshire County Council is required to provide a statutory planning consultation response with regard to drainage and surface water flood risk on all Major applications. This application is classified as a Minor Application and it is therefore the duty of the Local Planning Authority to consider the surface water flood risk and drainage proposals for this planning application.

Planning Conditions:

In the event that permission is to be given, the following planning conditions should be attached:

Highway Condition 00

The development hereby permitted shall be undertaken in accordance with the revised Construction Management Plan. The Plan indicates measures to mitigate the adverse impacts of vehicle activity and the means to manage the drainage of the site during the construction stage of the permitted development. It includes;

- the phasing of the development to include access construction;
 - the on-site parking of all vehicles of site operatives and visitors;
 - the on-site loading and unloading of all plant and materials;
 - the on-site storage of all plant and materials used in constructing the development;
 - wheel washing facilities;
 - the routes of construction traffic to and from the site including any off-site routes for the disposal of excavated material and;
 - strategy stating how surface water run off on and from the development will be managed during construction and protection measures for any sustainable drainage features. This
-

should include drawing(s) showing how the drainage systems (temporary or permanent) connect to an outfall (temporary or permanent) during construction.

Reason: In the interests of the safety and free passage of those using the adjacent public highway and to ensure that the permitted development is adequately drained without creating or increasing flood risk to land or property adjacent to, or downstream of, the permitted development during construction.

Informatives:

Highway Informative 08

Please contact the Lincolnshire County Council Streetworks and Permitting Team on 01522 782070 to discuss any proposed statutory utility connections, Section 50 licences and any other works which will be required within the public highway in association with the development permitted under this Consent. This will enable Lincolnshire County Council to assist in the coordination and timings of these works. For further guidance please visit the Highway Authority's website via the following link: Traffic Management - <https://www.lincolnshire.gov.uk/traffic-management>

Officer's Name: Justine Robson

Officer's Title: Development Management Officer

Date: 10 November 2023

WARNING: This email originated from outside of the organisation. Do not click links, open attachments or reply unless you are confident that the content is safe and do not share inappropriately.

Good Morning

Thank you for your email for the application above. This falls outside of the remit for comments by Anglian Water

The Pre-Development Team provide comments on planning applications (FUL/RM/OUT) for major proposals of 10 dwellings or more, or if an industrial or commercial development, more than 0.5 ha. However, if there are specific drainage issues you would like us to respond to, please contact us outlining the details.

The applicant should check for any Anglian Water assets which cross or are within close proximity to the site. Any encroachment zones should be reflected in site layout. They can do this by accessing our infrastructure maps on Digdat. Please see our website for further information: <https://www.anglianwater.co.uk/developers/development-services/locating-our-assets/>

Please note that if diverting or crossing over any of our assets permission will be required. Please see our website for further information: <https://www.anglianwater.co.uk/developers/drainage-services/building-over-or-near-our-assets/>

If you have any further queries please contact the Pre-Development team on the number below.

Kind Regards

Planning Liaison

Telephone: 03456 066 087

Anglian Water Services Limited
Thorpe Wood House, Thorpe Wood, Peterborough, Cambridgeshire, PE3 6WT



Directorate of Communities & Environment
Simon Walters MBA, ACG, MCM
City Hall, Beaumont Fee
Lincoln, LN1 1DF

8th October 2023

Your Ref: 2023/0217/FUL

**Town and Country Planning Act 1990
Re-consultation on Planning Permission**

41 Yarborough Road, Lincoln, Lincolnshire, LN1 1HS

Erection of 1 dwelling (Revised Plans).

Lincolnshire Police do not have any objections to this development

Please do not hesitate to contact me should you need further information or clarification.

Please refer to *Homes 2023* which can be located on www.securedbydesign.com Homes 2019.

Crime prevention advice is given free without the intention of creating a contract. Neither the Home Office nor the Police Service takes any legal responsibility for the advice given. However, if the advice is implemented it will reduce the opportunity for crimes to be committed.

Yours sincerely,

John Manuel MA BA (Hons) PGCE PGDPR Dip Bus.

Force Designing Out Crime Officer (DOCO)